



## **Matamata-Piako District Council**

### **Proposed Private Plan Change 46**

### **Development Concept Plan for Inghams Enterprises (NZ) Pty Ltd**

### **Decision**





## **12.1 Private Plan Change 46 - Development Concept Plan for Poultry Processing and Manufacturing, Waitoa**

### **Executive Summary**

Private Plan Change 46 seeks to amend the Development Concept Plan for the Inghams Enterprises (NZ) Pty Limited poultry processing factory in Waitoa.

Progressive development of the Inghams site means that the Development Concept Plan ('DCP') has effectively been superseded by resource consents and no longer provides for future growth of the facility. The purpose of the Plan Change is to ensure alignment between Inghams' existing resource consents and the DCP contained within the Matamata-Piako District Plan, and to provide for additional growth and development.

This report seeks that Council accepts the submissions received in part and approves the plan change with modifications as outlined in the Section 42A report.

Discussion:

A letter be written to Inghams appreciating that they have conducted their business in this manner.

### **COUNCIL RESOLUTION**

**That:**

- 1. Pursuant to Section 37 of the Resource Management Act 1991 the Matamata-Piako District Council resolves to accept the late replacement submission by the New Zealand Transport Agency, dated 29 January 2015**

#### **Reasons**

- Inghams has reached agreement with the Transport Agency based on the relief sought in the late submission. Therefore its interests will not be affected by the acceptance of the late submission.**
  - The acceptance of the late submission will enable the appropriate methods to avoid, remedy, or mitigate adverse effects on the state highway and local roading network to be included in Private Plan Change 46 as modified by Council's decisions. Therefore the interests of the community will not be adversely affected by acceptance of the late submission.**
  - The submission was received one day late and as such has not caused a delay in the processing of the Plan Change.**
- 2. Pursuant to clause 10 of the First Schedule to the Resource Management Act 1991 the Matamata-Piako District Council resolves to accept in part the submissions in support of Private Plan Change 46 by Ngati Haua Iwi Trust, Eric McIver, Maree McIver and Fonterra Cooperative Group Limited, noting that the provisions have been modified by Council's decisions.**

#### **Reason**

- Having regard to the further evaluation under section 32AA of the Resource Management Act 1991 the Council is required to modify Plan Change 46.**

3. Pursuant to clause 10 of the First Schedule to the Resource Management Act 1991 the Matamata-Piako District Council resolves to accept the submissions by Powerco and to modify Private Plan Change 46 as shown in Appendix D.

**Reason**

- Incorporating compliance with the Electricity (Hazards from Trees) Regulations 2003 will ensure that the land use on the site does not adversely affect electricity infrastructure.
4. Pursuant to clause 10 of the First Schedule to the Resource Management Act 1991 the Matamata-Piako District Council resolves to accept, in part, the submissions by the New Zealand Transport Agency and to modify Private Plan Change 46 as shown in Appendix D

**Reasons**

- Retaining certainty regarding the ability for Inghams to expand the site under the Controlled Activity class up to a production capacity of 250,000 poultry per day is the appropriate resource management approach that will “provide for” future development and will remove potential regulatory barriers to future growth. Future growth will, in turn, result in economic benefits and provide additional employment opportunities.
  - The inclusion of a performance standard that requires actual traffic generation to comply with traffic generation predicted in the TIA ensures there is sufficient certainty regarding traffic effects so that a Controlled Activity classification can be accepted for processing of up to 250,000 poultry per day;
  - The inclusion of the above performance standard will enable traffic effects to be reviewed should unforeseen traffic generation eventuate and, in this event, to require that such effects be avoided, remedied, or mitigated.
5. Pursuant to clause 29 of the First Schedule to the Resource Management Act 1991 the Matamata-Piako District Council resolves to approve Private Plan Change 46 subject to the modifications shown in Appendix D.

**Reasons**

- The amendments will assist the Council to carry out its functions so as to achieve the purpose of the Resource Management Act 1991;
- The modification will ensure that the Plan Change aligns with the Operative and Proposed Waikato Regional Policy Statements, the Operative Matamata-Piako District Plan and Proposed Plan Changes 43 and 44 to the Operative Matamata-Piako District Plan.



- The changes are required to ensure that all of the actual and potential adverse effects on the environment are able to be considered and required to be avoided, remedied, or mitigated.
- The Plan Change as modified by Council is in accordance with the purpose and principles of the Resource Management Act 1991.

Moved by: Cr Garry R Stanley

Seconded by: Cr Neil C Goodger

**CARRIED**

This item was considered after Item 13.2 and before Item 12.2.

## **Appendix D**

Copies of the existing (operative) DCP, DCP (notified version), modified DCP now proposed, and other changes to the District Plan proposed as a consequence of the Plan Change.

**Operative DCP**

# Operative DCP

## ACTIVITY SCHEDULE

### PERMITTED ACTIVITIES

Subject to compliance with relevant performance standards, terms and development controls the following are permitted:

#### IRRIGATION MANAGEMENT AREA:

- Wastewater irrigation spraying.

#### BUILDING AND PLANT MANAGEMENT AREA:

- Farming dwellings erected prior to 1/9/95.
- Processing of up to 50,000 poultry per day.
- Manufacture of poultry products.
- Associated and ancillary plant and buildings.
- Vehicular access numbered 1-4, parking, loading, and manoeuvring areas.

#### TOTAL DCP:

- Any activity identified in the activity table as a Permitted Activity in the Rural Zone not otherwise provided for in this DCP.

### CONTROLLED ACTIVITIES:

Subject to relevant performance standards, terms and development controls the following activities are controlled:

#### BUILDING AND PLANT MANAGEMENT AREA:

- Processing of between 50,000 and up to a maximum of 80,000 poultry per day.
- Manufacture of poultry products in conjunction with other food products.
- Wastewater treatment facilities.
- Facilities for the storage and handling of hazardous substances and dangerous goods associated with a permitted or controlled activity.
- Transportation depots associated with a permitted or controlled activity.
- Energy plants and associated buildings ancillary to controlled activities.
- Workshops and the repair and servicing of vehicles and machinery associated with a permitted or controlled activity.

#### TOTAL DCP:

- Any activity identified in the activity table as a Controlled Activity in the Rural Zone not otherwise provided for in this DCP.

### DISCRETIONARY ACTIVITIES:

Subject to the assessment criteria of 1.4 the following activities are discretionary:

#### BUILDING AND PLANT MANAGEMENT AREA:

- Processing of in excess of 80,000 poultry per day.
- Manufacture of other food products not already provided for as a Controlled Activity.
- Any activity identified in the activity table as a Discretionary Activity in the Rural Zone not otherwise provided for in this DCP.

#### TOTAL DCP:

- Any other permitted or controlled activity identified above not meeting the relevant performance standards or development controls.
- Any activity identified in the activity table as a Discretionary Activity in the Rural Zone not otherwise provided for in this DCP.

### NON-COMPLYING ACTIVITIES:

#### TOTAL DCP:

- Any activity which is not provided for or contemplated as a Permitted, Controlled or Discretionary Activity and does not meet the performance standards.
- Any activity which is not located in accordance with the plan shown on the DCP.

### NOISE CONTROL PERFORMANCE STANDARD

The following corrected noise levels shall not be exceeded at the Noise Emission Control Boundary as shown on the DCP:

- Monday to Saturday 5am – 9pm L<sub>10</sub>50[ ] dBA
- Monday to Saturday 9pm – 5am L<sub>10</sub>40[ ] dBA

At all other times L<sub>10</sub>40[ ] dBA

At all times L<sub>max</sub>[75] dBA

The General Provisions of Rule 5.2.1.

shall be taken into account.

- KEY:
- DEVELOPMENT CONCEPT
  - PLAN BOUNDARY
  - IRRIGATION MANAGEMENT AREA
  - BUILDING AND PLANT MANAGEMENT AREA
  - RIPARIAN MANAGEMENT
  - SCREEN PLANTING
  - RIPARIAN PLANTING
  - LOCATION OF VEHICLE ACCESSES
  - FRONT YARD SETBACK

SEC 29 BLK IV  
MAUNGAKAWA SD  
SO 51635

PT LOT 2  
DP 23161

LOT 19  
DPS 25337

LOT 5  
DP 23161

PT SEC 18 BLK IV  
MAUNGAKAWA SD  
SO 35052

LOT 2  
DPS 25337

LOT 1  
DPS 25337

NOISE EMISSION  
CONTROL BOUNDARY

PT LOT 35  
DP 12904

LOT 36  
DP 12904

LOT 3  
DPS 35427

LOT 1  
DPS 35427

LOT 2  
DPS 35427

LOT 2  
DP 12904

28/06/02

## DEVELOPMENT CONCEPT PLAN

Inghams Enterprises New Zealand Te Aroha

12.07310.1 (7310-opt1)

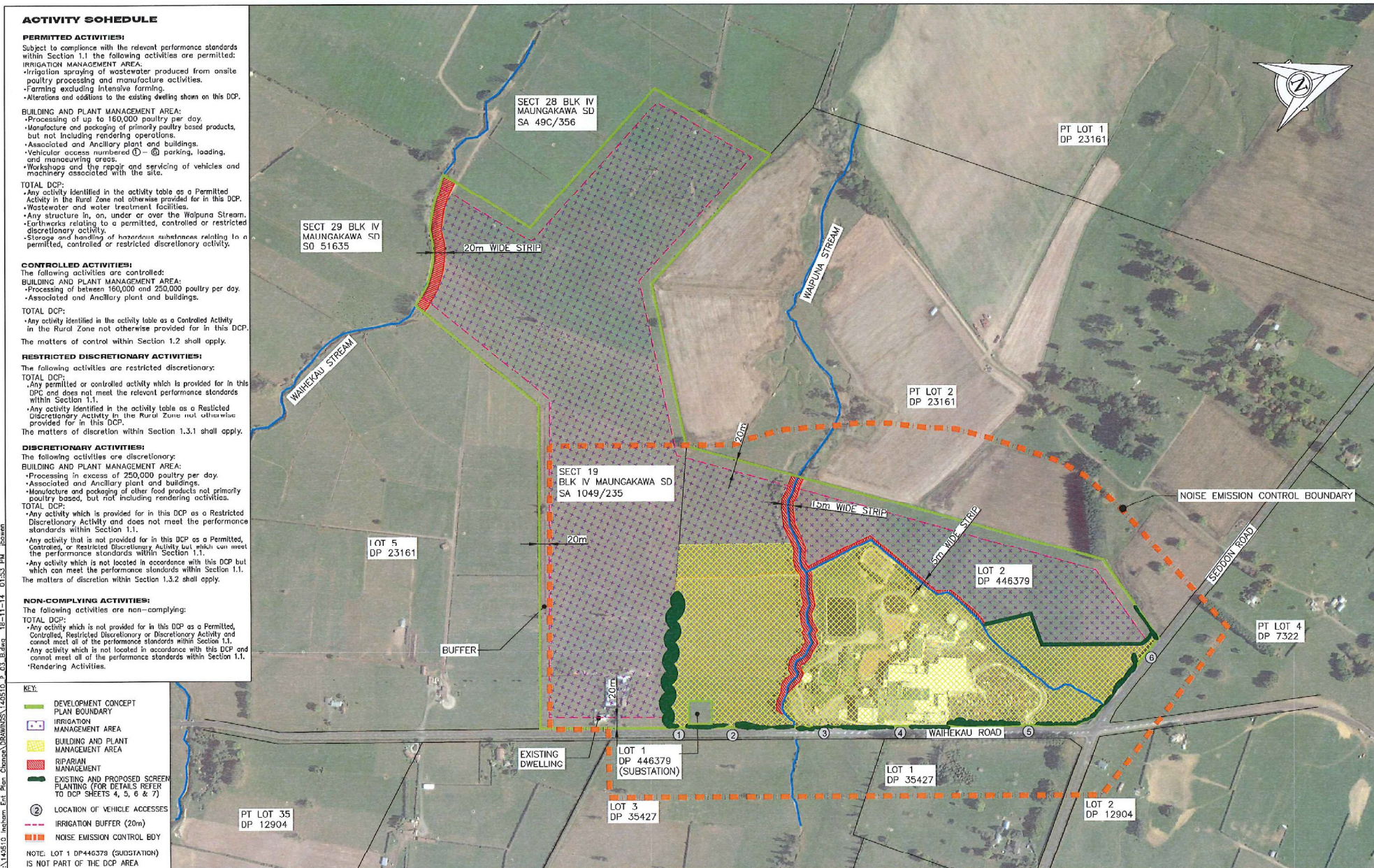
SCALES:

1:3000 @ A1

1:6000 @ A3

**DCP (Notified Version)**





## DEVELOPMENT CONCEPT PLAN

Poultry Processing and Manufacturing Site, Waihekau Road, Waitoa

November 2014

Sheet 1



1.1 PERFORMANCE STANDARDS											
1. Use of Land for Wastewater produced from onsite poultry processing and manufacture activities	<p>(a) Any effluent disposal system (including disposal onto land by way of spray irrigation) associated with the disposal of non-human waste shall comply with the following:</p> <p>(i) All disposal/spraying shall be within the Irrigation Management Area shown on the DCP.</p> <p>(ii) No spraying shall occur from a public road or place.</p> <p>(iii) Any mud or materials deposited on the roadway from vehicles associated with the disposal of waste shall be removed immediately.</p>										
2. Building Envelope for the existing dwelling shown on this DCP and associated accessory buildings.	<p>(a) Maximum Height: 10m.</p> <p>(b) Height relative to site boundary: No part of any building shall exceed a height of 3m plus the shortest horizontal distance between that part of the building and the nearest site boundary.</p> <p>(c) Front yard: Any extension or addition to the existing dwelling shall be erected behind the front line of the dwelling.</p> <p>(d) Rear and side yards: 10m.</p>										
3. Building Envelope for all buildings associated and accessory to a permitted activity listed in this DCP.	<p>(a) Maximum height: 20m.</p> <p>(b) Yards adjoining any road or non-Industrial Zone: 20m.</p> <p>(c) All other yards: 10m.</p> <p>(d) Height relative to boundary: Height shall not exceed one quarter of the distance (d) to the closest boundary adjoining (h=d/4) for boundaries adjoining any non-Industrial Zone.</p>										
4. Access	<p>(a) Vehicular accesses shall be located in accordance with the DCP.</p> <p>(b) Vehicular accesses shall be designed and constructed in accordance with the MPDC Development Manual 2010.</p> <p>(c) When formed, Gate 2 shall be designed to a 'Large Vehicle Entrance - Rural' (MPDC DG307c: October 2011) standard in accordance with the requirements of the MPDC Development Manual 2010, inclusive of the minimum 7m access width through the gate amendment in Figure 8 of the Inghams 'Traffic Impact Assessment Waitoa Plant Plan Change' report, August 2013, prepared by Bloxam Burnett &amp; Oliver Ltd, and be located at least 75m south of Gate 3 as shown on the DCP. The existing painted flush median on Waiheka Road shall also be extended 90m south of the access along with any local shoulder widening in accordance with the MPDC Development Manual 2010.</p> <p>(d) All vehicle access via the Gate 4 entrance shall be carried out in accordance with a Management Plan approved by Council. The management plan shall detail the processes and protocols in place to ensure that no vehicles manoeuvre in the Waiheka Road traffic lanes (road carriageway) and no conflict occurs between vehicles using the entranceway. The Management Plan must provide for the following:</p> <p>(i) That all vehicles greater than 5.2m in length shall enter the entranceway from a southern direction from Waiheka Road.</p> <p>(ii) That no more than two service vehicles shall be permitted to use the dispatch area at any one time.</p> <p>(iii) The vehicle movements shall be managed to prevent any more than one poultry truck and two service vehicles from needing to use the dispatch area and entranceway at any one time.</p> <p>(iv) That the area north of the entrance shall be maintained to a fully formed and sealed part of Waiheka Road.</p> <p>(v) That the existing "Poultry product truck" signage to the north and south of the site shall be maintained.</p> <p>Any proposed variation to the Management Plan shall be approved in accordance with the above by Council prior to implementation of the amendment(s).</p> <p>(e) That the manoeuvring area served by the wastewater access (Gate 3) shall be kept clear of all impediments and obstructions to vehicle manoeuvring.</p> <p>(f) All heavy vehicles travelling south, west or northwest to and from the site shall travel via Waiheka Road and SH27. Only heavy vehicles with destinations to the northeast shall be permitted to use the Seddon Road / SH26 intersection. Traffic routes and number of vehicles using the routes shall be recorded and be available upon request by Council.</p> <p>(g) That loose material shall not be tracked onto the carriageway of Waiheka Road or Seddon Road that may cause a hazard/nuisance to road users</p>										
5. Car Parking, Formation and Manoeuvring	<p>(a) 435 parking spaces shall be provided on site where production is at or below 160,000 birds.</p> <p>(b) All parking and loading spaces, and access and manoeuvring areas shall be formed and surfaced in accordance with the MPDC Development Manual 2010.</p> <p>(c) All parking and loading spaces shall be maintained and line marked to the standards of the Matamata-Piako District Plan.</p> <p>(d) All parking and loading spaces shall be provided on-site exclusive of land required for any screen planting area required by the DCP, access, or any manoeuvring area, including the manoeuvring areas required for vehicles accessing the dispatch area (Gate 4).</p> <p>(e) Parking and loading spaces are to be either visible from the public road or clearly signposted at the road frontage.</p> <p>(f) Parking and loading spaces shall be provided so that sufficient space is provided on-site so that no reverse manoeuvring onto or from a road is needed. The manoeuvring space provided shall take into account the type of vehicle anticipated.</p> <p>(g) All vehicles associated with the site shall be parked on the site. No vehicles shall be parked in the road reserve.</p>										
6. Odour	<p>(a) The management of activities shall ensure that there is no odour nuisance at or beyond the boundary of the property.</p> <p>For the purpose of this rule an odour nuisance is defined as one that can be detected and determined to be a nuisance by three observers who are neutral to the issue, able to apply the frequency, intensity, duration and offensiveness to their observations and who are able to report these accurately; or an appropriately experienced Council or Regional Council Officer after having considered objectives, policies and guidelines of assessment as provided in the relevant sections of a Regional Air Plan or consideration of the provisions in Section 17 and Part XII of the RMA.</p>										
7. Landscaping	<p>(a) The existing and proposed screen and riparian planting shown on the Mitigation Strategy Plans L1 revision R3 dated 18 April 2013 and L2 revision R4 dated 23 May 2014 prepared by Mansergh Graham Landscape Architects Ltd shall be retained and/or implemented (where required following site development) and maintained.</p>										
8. Noise	<p>(a) That the corrected noise level measured at the Noise Emission Control Boundary shall not exceed:</p> <ul style="list-style-type: none"> <li>Monday to Saturday (5 am to 9 pm) 50 dB LAeq</li> <li>All other times including Sundays and Public Holidays 45 dB LAeq and 75 dB LAmax.</li> </ul> <p>(b) That the corrected noise level measured at the notional boundary of any dwelling which exists at the date of the DCP (October 2014), except dwellings on the Lots detailed in (c) following, shall not exceed:</p> <ul style="list-style-type: none"> <li>Monday to Saturday (5 am to 9 pm) 50 dB LAeq</li> <li>All other times including Sundays and Public Holidays 40 dB LAeq and 75 dB LAmax.</li> </ul> <p>(c) The performance standard in (b) above does not apply to the following Lots:</p> <ul style="list-style-type: none"> <li>Section 3 SO 432231</li> <li>Part Lot 4 DP 7322</li> <li>Lot 1 DPS 35427</li> <li>Lot 3 DP 7322</li> <li>Lot 2 DP 473506</li> </ul> <p>(d) That, all noise levels shall be measured and assessed in accordance with the requirements of New Zealand Standard NZS 6801:2008 "Acoustics - Measurement of Environmental Sound" and New Zealand Standard NZS 6802:2008 "Acoustics - Environmental Noise"</p> <p>(e) All construction noise shall comply with the relevant noise levels stated in New Zealand Standard NZS 6803:1999, section 7.2 'Recommended numerical limits for construction noise' and shall be measured and assessed in accordance with New Zealand Standard NZS 6803:1999 "Acoustics - Construction Noise"</p>										
9. Vibration	<p>(a) Vibration shall not exceed the following average levels:</p> <p>(i) At or within the boundary of any site zoned residential, or within 20m of any dwelling in the rural or rural-residential zones:</p> <table border="1"> <thead> <tr> <th>Time</th><th>Average Weighted Vibration Level (Wb or Wd)</th></tr> </thead> <tbody> <tr> <td>Monday to Saturday 7.00 - 6.00pm (0700 - 1800)</td><td>45 mm/s<sup>2</sup></td></tr> <tr> <td>At all other times</td><td>15 mm/s<sup>2</sup></td></tr> </tbody> </table> <p>(ii) At or within the boundary of any adjacent site zoned business or industrial:</p> <table border="1"> <thead> <tr> <th>Time</th><th>Average Weighted Vibration Level (Wb or Wd)</th></tr> </thead> <tbody> <tr> <td>At all times</td><td>60 mm/s<sup>2</sup></td></tr> </tbody> </table> <p>(b) The weighted vibration levels Wb and Wd shall be measured according to BS6841:1987. The average vibration shall be measured over a time period not less than 60 seconds and not longer than 30 minutes. The vibration shall be measured at any point where it is likely to affect the comfort or amenity of persons occupying an adjacent site.</p>	Time	Average Weighted Vibration Level (Wb or Wd)	Monday to Saturday 7.00 - 6.00pm (0700 - 1800)	45 mm/s <sup>2</sup>	At all other times	15 mm/s <sup>2</sup>	Time	Average Weighted Vibration Level (Wb or Wd)	At all times	60 mm/s <sup>2</sup>
Time	Average Weighted Vibration Level (Wb or Wd)										
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At all other times	15 mm/s <sup>2</sup>										
Time	Average Weighted Vibration Level (Wb or Wd)										
At all times	60 mm/s <sup>2</sup>										
10. Lighting and Glare	<p>(a) At no time between 7.00am and 10.00pm shall any outdoor lighting be used in a manner that causes an added illuminance in excess of 125 lux, measured horizontally or vertically at the boundary of any non-industrial zoned site adjoining.</p> <p>(b) At no time between the hours of 10.00pm and 7.00am shall any outdoor lighting be used in a manner that causes:</p> <p>(i) An added illuminance in excess of 10 lux measured horizontally or vertically at any window of an adjoining building within a non-industrial zone.</p> <p>(ii) An added illuminance in excess of 20 lux measured horizontally or vertically at any point along any non-industrial zone boundary.</p> <p>(c) Where measurement of any added illuminance cannot be made because any person refuses to turn off outdoor lighting, measurements may be made in locations of a similar nature which are not affected by such outdoor lighting.</p> <p>(d) The outdoor lighting on any site adjoining any non-industrial zoned site shall be so selected, located, aimed, adjusted and screened as to ensure that glare resulting from the lighting does not cause a significant level of discomfort to any occupants of the non-industrial site.</p> <p>(e) No reflective material or unpainted surfaces should be used which could cause glare.</p> <p>For the purposes of this rule the discomfort level is defined as one that can be detected and determined to be a nuisance by an appropriately experienced Council officer who is able to apply the frequency, intensity, duration and offensiveness to their observations and who is able to report these accurately.</p>										
11. Signage	<p>(a) Signs attached to or forming part of the principal building, its walls or canopies:</p> <p>(i) A maximum of 3 signs.</p> <p>(ii) Each sign shall not exceed 6.0m<sup>2</sup> in area.</p> <p>(b) Naming or directional signs displayed at each entrance to the site: each sign shall not exceed 3.0m<sup>2</sup>.</p> <p>(c) Any painted or similar sign, or static illuminated sign which is not visible from beyond the site: no size maximum.</p> <p>(d) Safety signs to meet legislative requirements: no size maximum.</p> <p>(e) Temporary signs: no size maximum.</p> <p>(f) The size of letters on signs shall comply with the following minimum height standards in relation to speed limits:</p> <p>50 km/hr ..... 75mm</p> <p>100 km/hr ..... 175mm</p>										

## DEVELOPMENT CONCEPT PLAN

Poultry Processing and Manufacturing Site, Waiheka Road, Waitoa

NOVEMBER 2014

Sheet 2



1.2 MATTERS OF CONTROL	
1. Controlled Activities provided for in the Development Concept Plan	<p>A. General:</p> <p>(a) Location relative to the DCP.</p> <p>(b) Extent to which activity complies with Development Controls and Performance Standards of the District Plan.</p> <p>B. Visual:</p> <p>(a) The visual effect of buildings, structures and accesses and manoeuvring areas and earthworks, landscaping or other activities will be assessed in terms of the likely effects on or of:</p> <p>(i) The surrounding environment and general landscape character;</p> <p>(ii) Design elements in relation to the locality;</p> <p>(iii) The mitigating effects of proposed landscaping.</p> <p>(b) In making an assessment of visual impact regard shall be had to:</p> <p>(i) The scale of the facility or building;</p> <p>(ii) Height, cross sectional area, colour and texture of structures and buildings;</p> <p>(iii) Distance to site boundaries and compatibility with surrounding properties;</p> <p>(iv) Proposed planting, fencing and landscaping;</p> <p>(v) Signage;</p> <p>(vi) The intensity of lighting when viewed from a distance;</p> <p>(vii) Effect of lighting on neighbouring amenity;</p> <p>(viii) The opportunity for co-siting of facilities.</p> <p>(c) Assessment of landscaping:</p> <p>(i) Whether existing landscape features are integrated into the new development;</p> <p>(ii) Whether the layout and design are of a high standard, and provide a visual environment that is interesting and in the scale of the propose development;</p> <p>(iii) The size of trees to be planted at the time of planting and at maturity;</p> <p>(iv) The timing of implementation of the landscape plan and the maintenance of approved planting;</p> <p>(v) Whether the type and location of planting promotes public safety;</p> <p>(vi) The extent to which the Inghams Plan Change Development Landscape and Visual Assessment, April 2013, and Mitigation Plans L1 Revision R3 dated 18 April 2013 and L2 Revision R4, L4 Revision R0 and L5 Revision R0 dated 23 May 2014, prepared by Mansergh Graham Landscape Architects Ltd is adopted and implemented. In particular and as appropriate regard shall be had to:</p> <ul style="list-style-type: none"> <li>The establishment of evergreen specimen tree mitigation screen planting, capable of reaching a minimum height of 6m, along the western boundary of the proposed carpark expansion/industrial development and to fill in gaps in the existing screen planting along the northern, eastern and southern Building Plant Management Area boundaries;</li> <li>A dense swath of evergreen under-planting beneath the proposed screen planting along the carpark capable of reaching a height of 1m; and</li> <li>The establishment of 15m wide riparian planting along the Waipuna Stream margins and the 5m wide along the lower portion of the un-named ephemeral watercourse.</li> </ul> <p>C. Traffic, Parking, Loading and Access:</p> <p>(a) Any application shall be assessed upon consideration of the following :</p> <p>(i) Gate 6 on the DCP off Seddon Road shall be constructed and made operable following an increase in production over 160,000 birds/day to separate all HCV traffic from the staff and visitor carpark access at Gate 5. The access on Seddon Road should be located a minimum 75m from the Seddon Road / Waiheka Road intersection and be designed to the 'Large Vehicle Entrance - Rural' (MPDC DG307c: October 2011) standard in accordance with the requirements of the MPDC Development Manual 2010, inclusive of the minimum 7m access width through the gate amendment in Figure 8 of Inghams 'Traffic Impact Assessment Waitoa Plant Plan Change' report, August 2013, prepared by Bloxam Burnett &amp; Olliver Ltd.</p> <p>(ii) The main car park should be extended in stages as production increases to ultimately provide a minimum 564 car park spaces at the production threshold of 250,000 birds/day. Car parking spaces should be increased at a rate of 15 spaces per 10,000 birds/day in excess of the present baseline 160,000 birds/day.</p> <p>(iii) The effects of traffic anticipated, on the 'whole-of-life' cost level of service of the road network and the need (or otherwise) to impose a financial contribution as a condition of consent to avoid, remedy or mitigate such effects (see Chapter 7 of the District Plan).</p> <p>D. Stormwater and Effluent Effects:</p> <p>(a) The proposal shall be designed and maintained in a manner which prevents as far as practicable, pollution or contamination of land, water or Council's stormwater system. Techniques such as bunding, impermeable layers under bunds and interceptors may be required. The extent of measures required will be determined after having regard to the Building Code and the sensitivity of the receiving environment to discharges. The requirements of the Matamata-Piako District Council Development Manual 2010 shall not apply to existing or future on-site, self-serviced stormwater or wastewater infrastructure.</p>

1.3 MATTERS OF DISCRETION	
1. Restricted Discretionary Activities provided for in the Development Concept Plan	<p>E. Earthworks:</p> <p>(a) Methods to avoid, remedy or mitigate the adverse effects of earthworks, not already managed through the Waikato Regional Plan.</p> <p>F. Storage and handling of hazardous substances:</p> <p>(a) Methods to avoid, remedy or mitigate the adverse effects of the storage and handling of hazardous substances not already managed through the Hazardous Substances and New Organisms Act 1996.</p>
2. Discretionary Activities provided for in the Development Concept Plan	<p>A. Noise Effects:</p> <p>(a) The Council shall ensure that existing lawfully established activities on neighbouring properties in the locality are not adversely affected by unreasonable noise from the proposal. In determining appropriate noise levels, Council shall have regard to the noise environment of the locality in which it is proposed to site the facility, and the practicality of reducing noise from the utility components.</p> <p>(b) Council shall have regard to Section 5.2 of the District Plan (noise) and the "Guide to assessing road-traffic noise using NZS 6806 for state highway asset improvement projects" by the NZ Transport Agency (October 2011).</p> <p>B. Stormwater and Effluent Effects:</p> <p>Refer to the Stormwater and Effluent Effects matters of control for Controlled Activities within Section 1.2.D.</p> <p>C. Visual:</p> <p>Refer to the Visual matters of control for Controlled Activities within Section 1.2.B.</p> <p>D. Traffic, Parking, Loading and Access:</p> <p>(a) Any application shall be assessed upon consideration of the following :</p> <p>(i) Traffic volumes, traffic mix relative to the existing and future traffic patterns, access, parking and loading on-site.</p> <p>(ii) Hours of operation relative to the existing and future neighbourhood amenity.</p> <p>(iii) Construction traffic volumes, traffic mix, hours of operation.</p> <p>(iv) Design and location of access points onto roads.</p> <p>(v) The effects of traffic anticipated, on the 'whole-of-life' cost level of service of the road network and the need (or otherwise) to impose a financial contribution as a condition of consent to avoid, remedy or mitigate such effects (see Chapter 7 of the District Plan).</p> <p>The requirements of the MPDC Development Manual 2010 shall be met in respect of the relevant matters outlined.</p> <p>E. Odour Effects:</p> <p>(a) Council shall consider the effect of the probability of offensive odours from the operation of facilities and in particular the operation of waste treatment and disposal facilities and solid waste management disposal sites.</p> <p>F. Solid Waste:</p> <p>(a) Any application shall undertake a solid waste audit to identify waste reduction and/or to conform with the Council's solid waste minimisation strategy.</p> <p>G. Risk Management:</p> <p>(a) Any application shall advise on the risk associated with, but not restricted to :</p> <p>(i) The use of hazardous substances in the facility and proof that the New Zealand Fire Service and the Waikato Regional Council have been advised.</p> <p>(ii) The technology used in the provision of the service, eg. high voltage, electricity, radio-active material, electro magnetic radiation.</p> <p>(iii) Risk of rupture, breakage, collapse, failure, movement etc of components of the facility as it relates to the design and maintenance of the facility and the effect of natural hazards on the facility.</p> <p>(iv) The measures inherent in the proposal which will avoid, remedy or mitigate the potential for that effect to occur.</p>
	For Discretionary Activities Council shall as a minimum have regard to all the matters of control for Controlled Activities within Section 1.2 and the matters of discretion for Restricted Discretionary Activities within Section 1.3.1. The matters of control for Controlled Activities and matters of discretion for Restricted Discretionary Activities are only a guide to the matters Council will consider and shall not restrict Council's discretionary powers.

## DEVELOPMENT CONCEPT PLAN

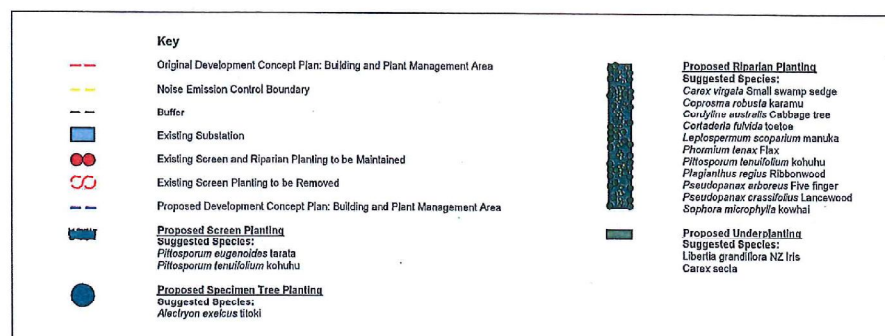
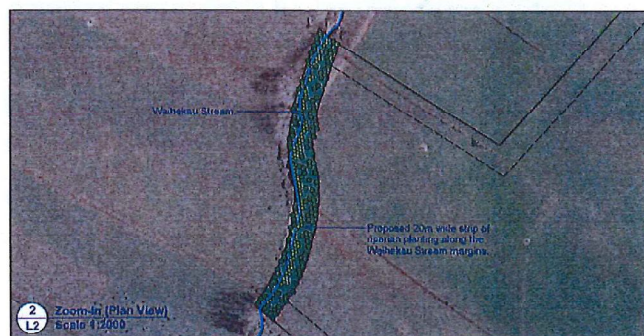
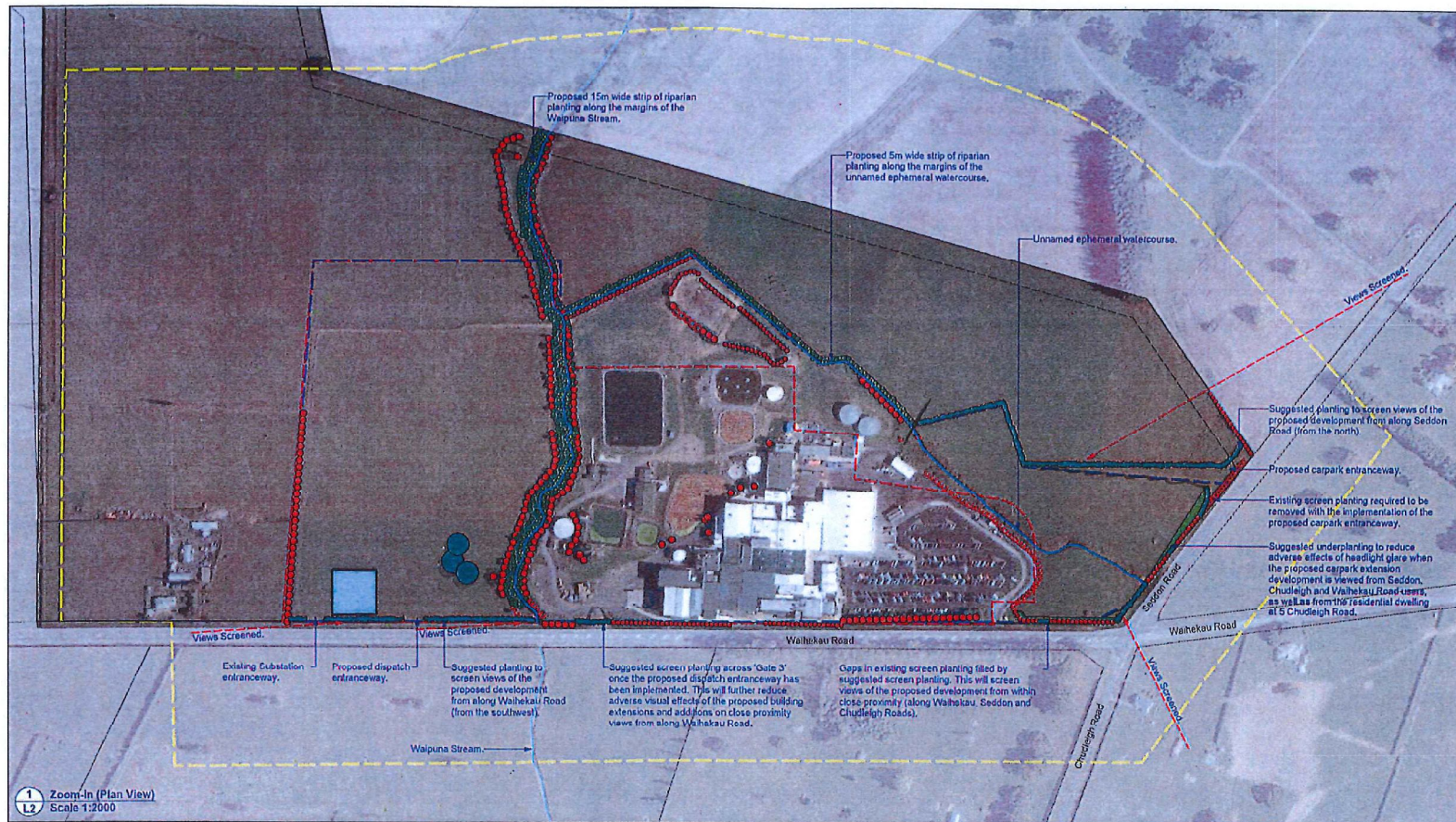
Poultry Processing and Manufacturing Site, Waiheka Road, Waitoa

NOVEMBER 2014









# **DEVELOPMENT CONCEPT PLAN** Poultry Processing and Manufacturing Site, Waiheke Road, Waitoa November 2014

Sheet 5

**INGHAM**

**Consultants:**

**Drawn By:** LB  
**Checked:** MG  
**Revision No:** R2

**Amendments:**  
R1: R1-6-13: Amendments to riparian planting and screen planting. Removal of proposed carpark and building extensions/additions.  
R2: R1-6-13: Amendments to plan scales.

**Project:**

INGHAM POULTRY SITE  
MITIGATION PLAN

**Client:**

**INGHAM**

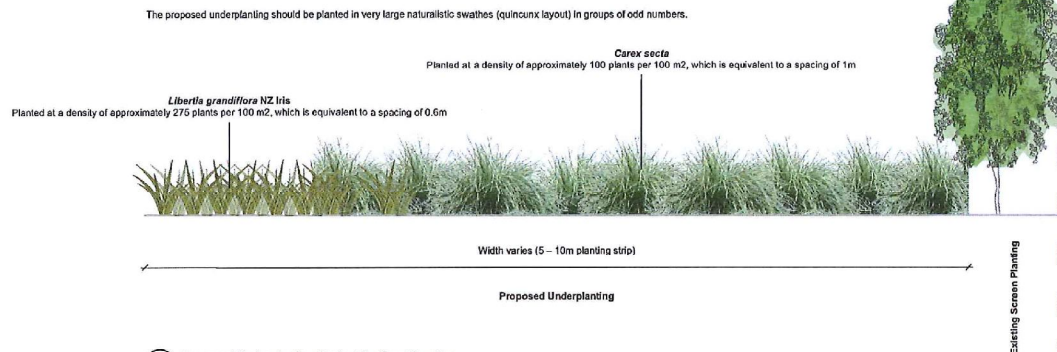
**Plan Name:**  
*Mitigation Strategy*

A3 Scale: 1:4000  
A1 Scale: 1:2000  
Date: 18-04-2013  
Project No: 2013-013  
Issue: CONCEPT

**Plan Number:**

L2





**A Proposed Underplanting Typical Section-Elevation**

#### Site Preparation Notes

- Verify the location of all services (including pipes and electrical cables) prior to excavation.
- The Contractor is responsible for the continuous protection and maintenance of any existing services affected by the works.
- Remove all unwanted vegetation and organic material from site. (To include trees, stumps and root systems). Grasses and weeds, including root systems, should be removed from all planted areas prior to planting. Grasses and weeds should be sprayed with Roundup (or similar approved herbicide) at manufacturer's recommended rates two weeks prior to planting. Complete die off shall have occurred before planting commences. Care must be taken to ensure no weed spray enters any adjacent water courses.

#### Planting Implementation

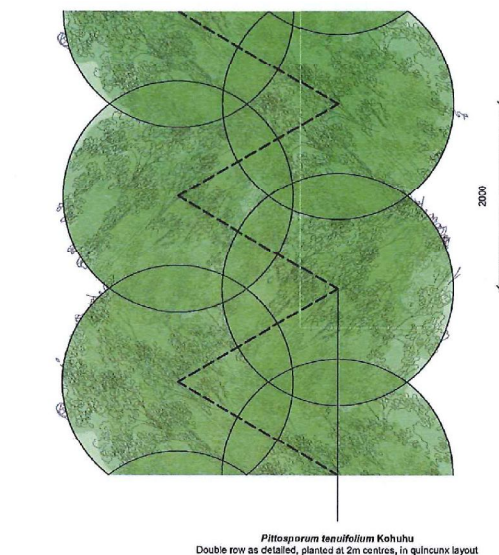
- Planting should be carried out between late April and early September. All plants should be sourced from a local seed source where possible.
- All plants should be of best nursery stock, healthy specimens with well developed root systems, free of pest and disease, well branched and symmetrical, and of typical normal habit for that particular species. Root bound specimens should be rejected.
- The Contractor should ensure that protection is given to all plants and their root systems during transportation and storage, and that plants do not become dehydrated. Bare rooted specimens should be planted on the day of delivery.
- Plant holes should be square and twice the diameter of the root ball. Plants should be planted to the same depth as they are growing in their planter bags. Roots should be spread radially and the hole, backfilled with soil and firmed in.
- Fertilise all plants at time of planting with Agri-lon, or similar, at the recommended manufacturer's rates.
- All plants should be well watered in immediately following planting. Planting should not be carried out during heavy rain or on excessively hot/cold and/or windy days.

#### Plant Size

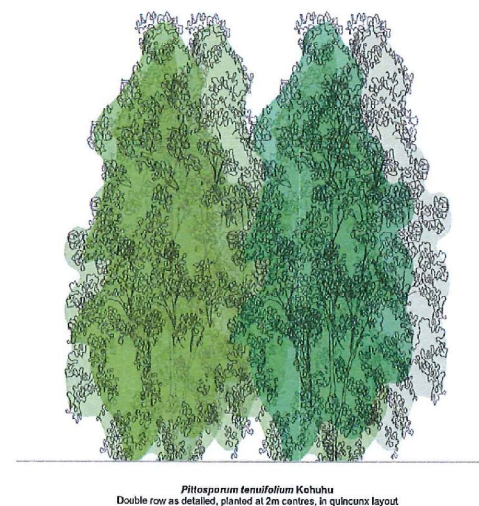
A PB2/3 sized bag or its pot equivalent (1.2 litres – 1.5 litres) is recommended as being a robust yet cost-effective plant grade to use in this environment. When selecting plants the vegetation should be 500 – 600mm high for the best chance of survival.

#### Maintenance

Weed management and plant releasing will be required, particularly over the key growing months from October to January. As the planting matures the time and costs of plant releasing will decrease as the space between plants decreases, reducing light and space for weeds to occupy.



**B Proposed Screen Planting Plan View**



**B Proposed Screen Planting Elevation**



#### Consultants:

The purpose of this plan is to show the proposed layout of the planting and to be used in conjunction with all other contract documents. It should be used as a guide only and not be used as a basis for any other contract documents. It should be used as a guide only and not be used as a basis for any other contract documents.

Drawn By: AR  
Checked: MG  
Revision No: R0  
Amendments:

#### Project:

INGHAM POULTRY SITE  
MITIGATION PLAN

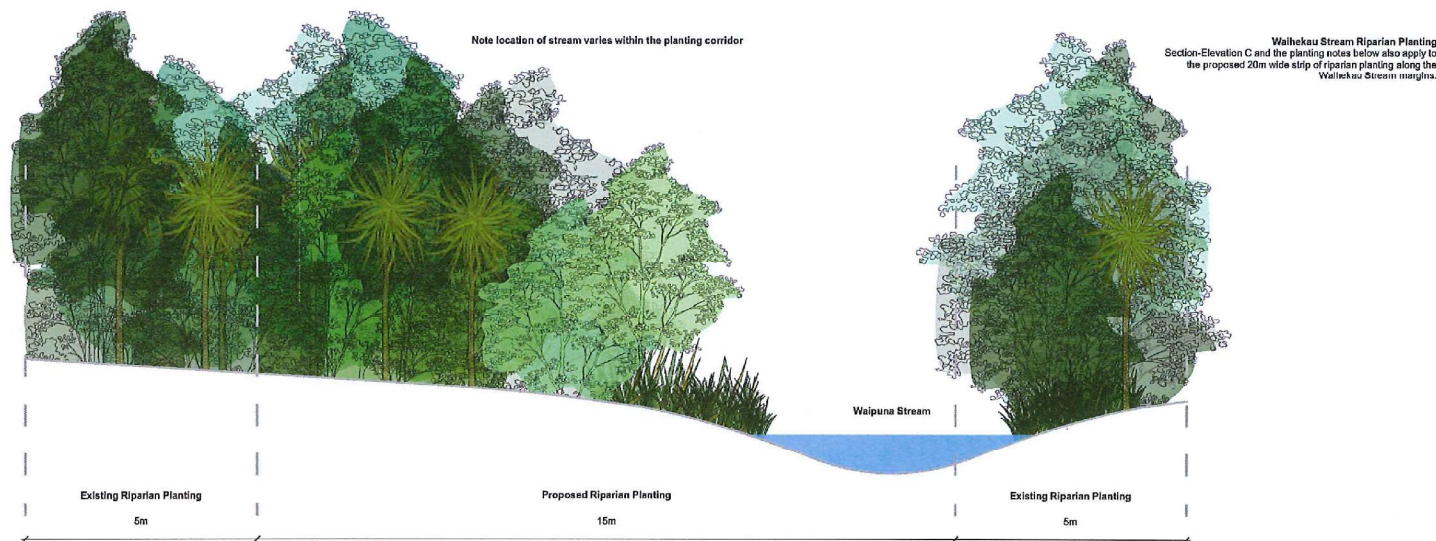
#### Client:



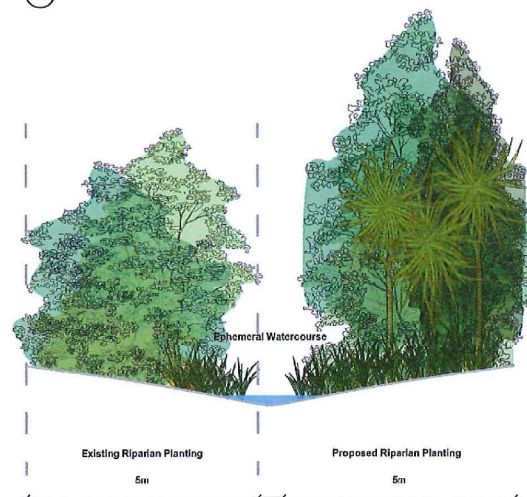
Plan Name:  
Typical  
Mitigation Planting  
Cross Sections  
A3 Scale: 1:50  
A1 Scale: 1:25  
Date: 23-05-2014  
Project No: 2013-013  
Issue: CONCEPT

#### Plan Number:

L4



**C Riparian Planting Typical Section-Elevation (15m width)**



**D Riparian Planting Typical Section-Elevation (5m width)**

**Riparian Planting Implementation**

Planting should be carried out between late April and early September. All plants should be sourced from a local seed source where possible. Ensure existing riparian planting is retained and not damaged during implementation of the enhancement planting.

**Weed Control**

Weed species (if present) should be removed from the site before planting. Care must be taken to ensure no weed spray enters the stream.

**Plant Size**

A PB2/3 sized bag or its pot equivalent (1.2 litres – 1.5 litres) is recommended as being a robust yet cost-effective plant grade to use in this environment. When selecting plants the vegetation should be 500 – 600mm high for the best chance of survival.

**Plant Spacings**

The following plants should be planted in naturalistic swaths (quincunx layout) in groups of odd numbers (3,5,7) rather than placing individuals more randomly.

Canopy trees should be planted at least 3.0m from another canopy specimen, which is a density of approximately 10 plants per 100 m<sup>2</sup>.

- *Plagianthus regius* Ribbonwood

Understorey plants should be planted at a density of approximately 45 plants per 100 m<sup>2</sup>, which is equivalent to a spacing of 1.6m.

It is important to ensure spacings do not exceed this, as rapid canopy closure is required to ensure the ongoing suppression of weeds.

- *Cordyline australis* Cabbage Tree
- *Coprosma robusta* Koromaru
- *Curtatella fulvida* Tootoe
- *Phormium tenax* Flax
- *Pittosporum tenuifolium* Kohuhu
- *Pseudopanax arboreus* Five-finger
- *Pseudopanax crassifolius* Lancewood

Sedges should be planted in large groups at a density of approximately 100 plants per 100 m<sup>2</sup>, which is equivalent to a spacing of 1m.

- *Carex virgata* Small Swamp Sedge

Low-growing and/or light-demanding species - such as Kowhai - will, ultimately, be competitively overtopped if closely surrounded by taller growing species. These species will also need to be established on margins and in open areas underplanted with grasses and sedges

- *Sophora microphylla* Kowhai

**Maintenance**

Weed management and plant releasing will be required within the planting zone, particularly over the key growing months from October to January. As the planting matures the time and costs of plant releasing will decrease as the canopy forms, reducing light and space for weeds to occupy.



Consultants:

The purpose of this plan is to show the proposed riparian planting, and any other works, in a clear and concise manner. This plan will be used in conjunction with all other project documents. It is not intended to be a final design, and it is not intended to be a final design. It is not intended to be a final design. It is not intended to be a final design.

Drawn By: AR

Checked: MG

Revision No: R0

Amendments:

Project:

INGHAM'S POULTRY SITE  
MITIGATION PLAN

Client:



Plan Name:

Typical  
Mitigation Planting  
Cross Sections

A3 Scale: 1:100

A1 Scale: 1:50

Date: 23-05-2014

Project No: 2013-013

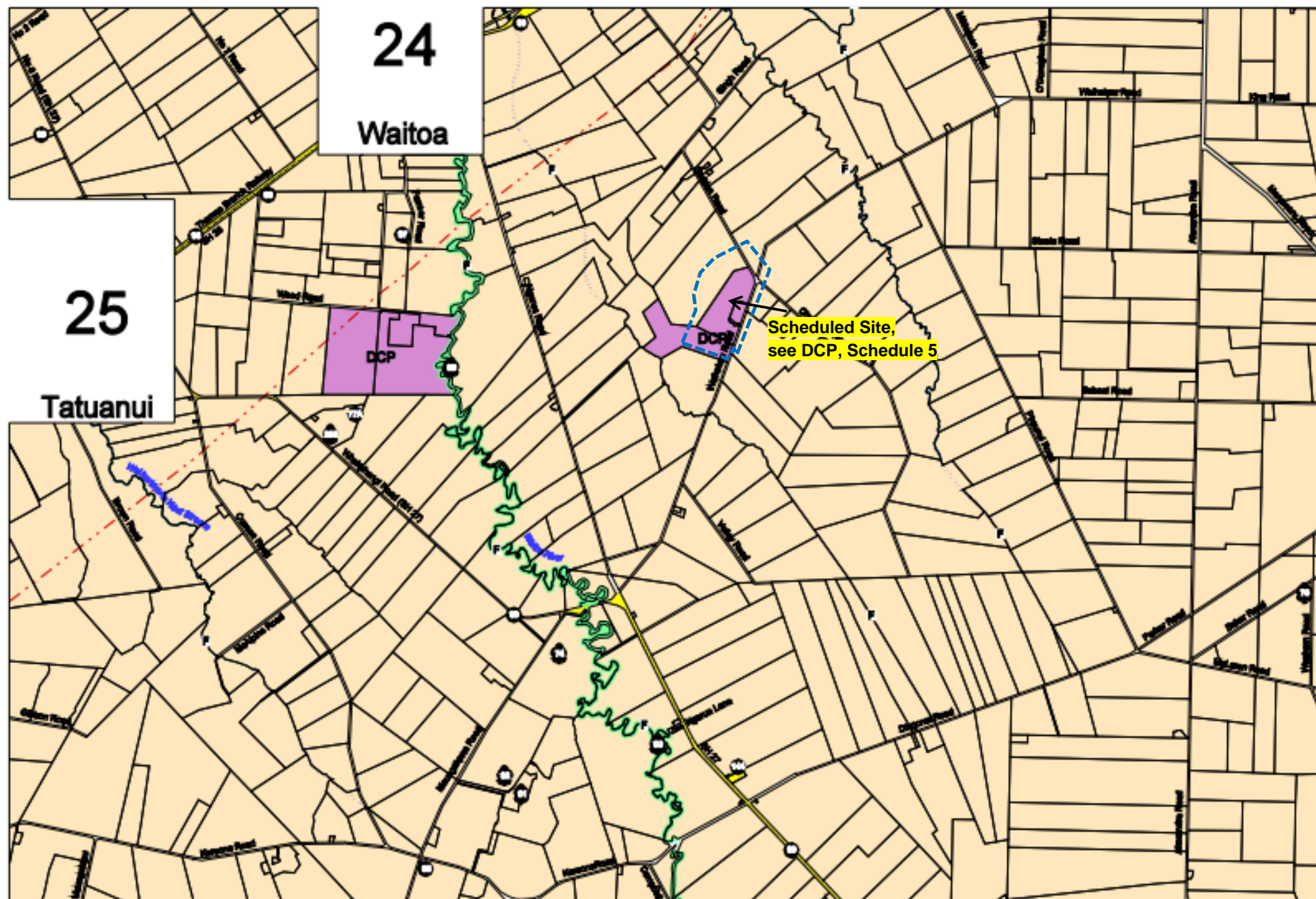
Issue: CONCEPT

Plan Number:

L5

**Recommendations on modification  
of the Plan Change  
(Strikethrough Version)**





#### ZONES:

- BUSINESS
- KAITIAKI (CONSERVATION)
- INDUSTRIAL
- RESIDENTIAL
- ROAD
- RURAL

#### NATURAL HAZARD AREAS:

- FLOOD HAZARDS
- PEAT SOILS
- DETENTION PONDS & SPILLWAYS
- LAND INSTABILITY
- FIRE HAZARD BUFFER

**NOISE EMISSION CONTROL BOUNDARY:**  
(See DCP, Schedule 5)

#### OTHER FEATURES/CONTROLS:

- DESIGNATIONS
- WATER COURSE
- DISTRICT BOUNDARY
- PARCEL BOUNDARIES
- TRANSMISSION LINE
- DEVELOPMENT CONCEPT PLAN
- PROTECTED TREE OR OBJECT
- CROWN LAND RESERVED FROM SALE
- DESIGNATED SITE
- RESERVES
- WAHAI TAPU SITE
- HERITAGE SITE

# NGARUA

Scale 1:50,000

Version 1 – Operative 25 July 2008



5/8

7

8

9

11

## **Schedule 5: Sites subject to a Development Concept Plan**

### **Fonterra Waitoa**

Lot 2 DPS 78059 (CT 62A/265), Lot 3 DPS 78060 (CT 62A/267), Lot 4 DPS 78061 (CT 62A/254), Lot 9 DPS 78061 (CT 62A/255), Lot 5 DPS 78059 (CT 62A/266) and Lots 6, 7 and 8 DPS 76060 (CT 62A/268).

### **Fonterra Morrinsville**

Part Lot 1 DPS 52637, Railway Lease L46167.

### **Tatua Co-operative Dairy Company Limited Tatuani**

Lot 1 DPS 11186, Lot 1 and Part Lot 2 DPS 68, Lot 1 DP 12404 DP 9359, Lots 1 and 2 DPS 33988, Lot 1 DPS 16815, Lot 1 DPS 3109, Part Lot 2 DP 9358, Lot 2 DPS 71013, Block III Maungakawa SD.

### **Wallace Corporation Limited**

(Includes J D Wallace Limited, Wallford Meats, Eureka Skin and Hides)

Lot 4 DP 5006, Lot 1 DPS 47313, Part Lots 2 and 3 DP 29915, Block VI Maungakawa SD.

### **Inghams Enterprises (New Zealand) Limited Poultry Processing and Manufacturing Site, Waiheke Road, Waitoa**

Lots 1 and 2 DPS 25337, Part Section 18 Lot 2 DP 446379 and Section 19 Block IV Maungakawa SD.

### **Advice Note:**

This Development Concept Plan (DCP) comprises eight sheets (numbered Sheet 1 – Sheet 8). The landscaping requirements are set out on Sheets 5 – 8. These sheets have been reproduced from the Landscape and Visual Assessment by Mansergh Graham (Report Version: R2/13, dated April 2013) where they are referenced as follows:

Sheet 5 – L1

Sheet 6 – L2

Sheet 7 – L4

Sheet 8 – L5

Landscape Plan L3 shows the location of views assessed during the landscape study and is therefore not relevant and not referenced as part of the DCP.

### **De Gussa**

Lot 2 DPS 51800, Block VI, Maungakawa SD.

**BOP Fertiliser Ltd**

Lot 3 DPS 51800, Block VI, Maungakawa SD.

**ICHEM Limited**

Lot 1 DPS 51800, Block VI, Maungakawa SD.

**Te Aroha Skin Processors Limited**

Lot 8 DPS 33821, Block XI Aroha SD.

**Totara Springs Christian Centre**

Part Section 1A Mangawhero Settlement, SO 13998, Lot 1 DPS 34763, Block III Tapapa SD.

**New Zealand Mushrooms Limited – Snell Street, Morrinsville**

Section 1 SO 55982, Lot 7A DP 2465 and PT Lot 1 DP 16287, all being part of the Motumaoho No. 2 Block.

**New Zealand Mushrooms Limited – Taukoro Road, Morrinsville**

Lot 1 DP 36969, Block II Maungakawa SD.

**IB and JP Diprose – Barton Road, Okauia**

Part Okauia 1 Block being Part DP7148, Okauia 4B Block, Lot 1 DPS 24315 Blocks IV and VIII Tapapa SD.

**DL and JL Swap**

Part Section 126, Block II, Tapapa East Survey District (CT SA5B/22).

**Richmonds Limited**

Part Section 6 DP 18461 and Lot 1 DPS17578, Part Sections 12, 21, 32, 33, 34, 35, 36 and 37 Block XI, Aroha SD, and Part Section 6 Block XI Aroha SD.

**Greenlea Premier Meats Limited Morrinsville**

Motumaoho Number 2 block and lots 1 and 2 and part lot 2 DP 17820, Section 1, SO Plan 5384, Lots 3 and 4 DP 20396 and Part Lot 100A DP 2461.

***Advice note: See Part C: Planning Maps for the Development Concept Plans.***



# DCP Strikethrough Version – Sheet 1

## ACTIVITY SCHEDULE

### PERMITTED ACTIVITIES:

Subject to compliance with the relevant performance standards within Section 1.1 the following activities are permitted:

#### IRRIGATION MANAGEMENT AREA:

- Irrigation spraying of wastewater produced from onsite poultry processing and manufacture activities.
- Farming excluding intensive farming.
- Alterations and additions to the existing dwelling shown on this DCP.

#### BUILDING AND PLANT MANAGEMENT AREA:

- Processing of up to 160,000 poultry per day.
- Manufacture and packaging of primarily poultry based products, but not including rendering operations.
- Associated and ancillary plant and buildings associated and ancillary to a permitted activity.

- Vehicular access numbered 1 – 6, parking, loading, and manoeuvring areas.
- Workshops and the repair and servicing of vehicles and machinery associated with the site.

#### TOTAL DCP:

- Any activity identified in the activity table as a Permitted Activity in the Rural Zone not otherwise provided for in this DCP.
- Wastewater and water treatment facilities.
- Any structure in, on, under or over the Waipuna Stream.
- Earthworks relating to a permitted, controlled or restricted discretionary activity.
- Storage and handling of hazardous substances relating to a permitted, controlled or restricted discretionary activity.

### CONTROLLED ACTIVITIES:

Subject to compliance with the relevant performance standards in Section 1.1 the following activities are controlled:

#### BUILDING AND PLANT MANAGEMENT AREA:

- Processing of between 160,000 and 250,000 poultry per day.
- Associated and ancillary Plant and buildings associated and ancillary to a controlled activity.

#### TOTAL DCP:

- Any activity identified in the activity table as a Controlled Activity in the Rural Zone not otherwise provided for in this DCP.
- The matters of control within Section 1.2 shall apply.

### RESTRICTED DISCRETIONARY ACTIVITIES:

The following activities are restricted discretionary

#### TOTAL DCP:

- Any permitted or controlled activity which is provided for in this DCP and does not meet the relevant performance standards within Section 1.1.
- Any activity identified in the activity table as a Restricted Discretionary Activity in the Rural Zone not otherwise provided for in this DCP.

The matters of discretion within Section 1.3.1 shall apply.

### DISCRETIONARY ACTIVITIES:

The following activities are discretionary.

#### BUILDING AND PLANT MANAGEMENT AREA:

- Processing in excess of 250,000 poultry per day.
- Associated and ancillary plant and buildings associated and ancillary to a discretionary activity.
- Manufacture and packaging of other food products not primarily poultry based, but not including rendering activities.

#### TOTAL DCP:

- Any activity which is provided for in this DCP as a Restricted Discretionary Activity and does not meet the performance standards within Section 1.1.
- Any activity that is not provided for in this DCP as a Permitted, Controlled, or Restricted Discretionary Activity but which can meet the performance standards within Section 1.1.
- Any activity which is not located in accordance with this DCP but which can meet the performance standards within Section 1.1.

The matters of discretion within Section 1.3.2 shall apply.

### NON-COMPLYING ACTIVITIES:

The following activities are non-complying:

#### TOTAL DCP:

- Any activity which is not provided for in this DCP as a Permitted, Controlled, Restricted Discretionary or Discretionary Activity and cannot meet all of the performance standards within Section 1.1.
- Any activity which is not located in accordance with this DCP and cannot meet all of the performance standards within Section 1.1.
- Rendering Activities.

1.1 PERFORMANCE STANDARDS FOR PERMITTED AND CONTROLLED ACTIVITIES	
1. Use of Land for Wastewater produced from onsite poultry processing and manufacture activities	<p>(a) Any effluent disposal system (including disposal onto land by way of spray irrigation) associated with the disposal of non-human waste shall comply with the following:</p> <p>(i) All disposal/spraying shall be within the Irrigation Management Area shown on the DCP.</p> <p>(ii) No spraying shall occur from a public road or place.</p> <p>(iii) Any mud or materials deposited on the roadway from vehicles associated with the disposal of waste shall be removed immediately.</p>
2. Building Envelope for the existing dwelling shown on this DCP and associated accessory buildings.	<p>(a) Maximum Height: 10m.</p> <p>(b) Height relative to site boundary: No part of any building shall exceed a height of 3m plus the shortest horizontal distance between that part of the building and the nearest site boundary.</p> <p>(c) Front yard: Any extension or addition to the existing dwelling shall be erected behind the front line of the dwelling.</p> <p>(d) Rear and side yards: 10m.</p>
3. Building Envelope for all buildings associated and accessory to a permitted activity listed in this DCP.	<p>(a) Maximum height: 20m.</p> <p>(b) Yards adjoining any road or non-Industrial Zone: 20m.</p> <p>(c) All other yards: 10m.</p> <p>(d) Height relative to boundary: Height shall not exceed one quarter of the distance (d) to the closest boundary adjoining (h=d/4) for boundaries adjoining any non-Industrial Zone.</p>
4. Access	<p>(a) Vehicular accesses shall be located in accordance with the DCP.</p> <p>(b) Vehicular accesses shall be designed and constructed in accordance with the MPDC Development Manual 2010.</p> <p>(c) When formed, Gate 2 shall be designed to a ‘Large Vehicle Entrance - Rural’ (MPDC DG307c: October 2011) standard in accordance with the requirements of the MPDC Development Manual 2010, inclusive of the minimum 7m access width through the gate amendment in Figure 8 of the Inghams ‘Traffic Impact Assessment Waitoa Plant Plan Change’ report, August 2013, prepared by Bloxam Burnett &amp; Olliver Ltd, and be located at least 75m south of Gate 3 as shown on the DCP. The existing painted flush median on Waihekau Road shall also be extended 90m south of the access along with any local shoulder widening in accordance with the MPDC Development Manual 2010.</p> <p>(d) All vehicle access via the Gate 4 entrance shall be carried out in accordance with a Management Plan approved by Council. The management plan shall detail the processes and protocols in place to ensure that no vehicles manoeuvre in the Waihekau Road traffic lanes (road carriageway) and no conflict occurs between vehicles using the entranceway. The Management Plan must provide for the following:</p> <p>(i) That all vehicles greater than 5.2m in length shall enter the entranceway from a southern direction from Waihekau Road.</p> <p>(ii) That no more than two service vehicles shall be permitted to use the dispatch area at any one time.</p> <p>(iii) The vehicle movements shall be managed to prevent any more than one poultry truck and two service vehicles from needing to use the dispatch area and entranceway at any one time.</p> <p>(iv) That the area north of the entrance shall be maintained to a fully formed and sealed part of Waihekau Road.</p> <p>(v) That the existing “Poultry product truck” signage to the north and south of the site shall be maintained.</p> <p>Any proposed variation to the Management Plan shall be approved in accordance with the above by Council prior to implementation of the amendment(s).</p> <p>(e) That the manoeuvring area served by the wastewater access (Gate 3) shall be kept clear of all impediments and obstructions to vehicle manoeuvring.</p> <p>(f) All heavy vehicles travelling south, west or northwest to and from the site shall travel via Waihekau Road and SH27. Only heavy vehicles with destinations to the northeast shall be permitted to use the Seddon Road / SH26 intersection. Traffic routes and number of vehicles using the routes shall be recorded and be available upon request by Council.</p> <p>(g) That loose material shall not be tracked onto the carriageway of Waihekau Road or Seddon Road that may cause a hazard/nuisance to road users</p>
5. Odour	<p>(a) The management of activities shall ensure that there is no odour nuisance at or beyond the boundary of the property.</p> <p>For the purpose of this rule an odour nuisance is defined as one that can be detected and determined to be a nuisance by three observers who are neutral to the issue, able to apply the frequency, intensity, duration and offensiveness to their observations and who are able to report these accurately; or an appropriately experienced Council or Regional Council Officer after having considered objectives, policies and guidelines of assessment as provided in the relevant sections of a Regional Air Plan or consideration of the provisions in Section 17 and Part XII of the RMA.</p>

1.1 PERFORMANCE STANDARDS FOR PERMITTED AND CONTROLLED ACTIVITIES – continued	
6. Traffic Generation	(a) Traffic generation from the site shall not exceed 1,735 vehicle movements per day (total inbound and outbound).
7. Car Parking, Formation and Manoeuvring	<p>(a) 435 parking spaces shall be provided on site where production is at or below 160,000 birds.</p> <p>(b) All parking and loading spaces, and access and manoeuvring areas shall be formed and surfaced in accordance with the MPDC Development Manual 2010.</p> <p>(c) All parking and loading spaces shall be maintained and line marked to the standards of the Matamata-Piako District Plan.</p> <p>(d) All parking and loading spaces shall be provided on-site exclusive of land required for any screen planting area required by the DCP, access, or any manoeuvring area, including the manoeuvring areas required for vehicles accessing the dispatch area (Gate 4).</p> <p>(e) Parking and loading spaces are to be either visible from the public road or clearly signposted at the road frontage.</p> <p>(f) Parking and loading spaces shall be provided so that sufficient space is provided on-site so that no reverse manoeuvring onto or from a road is needed. The manoeuvring space provided shall take into account the type of vehicle anticipated.</p> <p>(g) All vehicles associated with the site shall be parked on the site. No vehicles shall be parked in the road reserve.</p>
8. Landscaping	<p>(a) The existing and proposed screen and riparian planting shown on the Mitigation Strategy Plans L1 revision R3 dated 18 April 2013 and L2 revision R4 dated 23 May 2014 prepared by Mansergh Graham Landscape Architects Ltd shall be retained and/or implemented (where required following site development) and maintained.</p> <p>(b) Vegetation to be planted near electricity transmission lines shall be selected and/or managed to ensure it will not result in that vegetation breaching the Electricity (Hazards from Trees) Regulations 2003.</p>
9. Signage	<p>(a) Signs attached to or forming part of the principal building, its walls or canopies:</p> <p>(i) A maximum of 3 signs.</p> <p>(ii) Each sign shall not exceed 6.0m<sup>2</sup> in area.</p> <p>(b) Naming or directional signs displayed at each entrance to the site: each sign shall not exceed 3.0m<sup>2</sup>.</p> <p>(c) Any painted or similar sign, or static illuminated sign which is not visible from beyond the site: no size maximum.</p> <p>(d) Safety signs to meet legislative requirements: no size maximum.</p> <p>(e) Temporary signs: no size maximum.</p> <p>(f) The size of letters on signs shall comply with the following minimum height standards in relation to speed limits:</p> <p>50 km/hr ..... 75mm</p> <p>100 km/hr ..... 175mm</p>
10. Noise	<p>(a) That the corrected noise level measured at the Noise Emission Control Boundary shall not exceed:</p> <ul style="list-style-type: none"> <li>Monday to Saturday (5 am to 9 pm) 50 dB LA<sub>eq</sub>,</li> <li>All other times including Sundays and Public Holidays 45 dB LA<sub>eq</sub> and 75 dB LA<sub>max</sub>.</li> </ul> <p>(b) That the corrected noise level measured at the notional boundary of any dwelling which exists at the date of the DCP (October 2014), except dwellings on the Lots detailed in (c) following, shall not exceed:</p> <ul style="list-style-type: none"> <li>Monday to Saturday (5 am to 9 pm) 50 dB LA<sub>eq</sub>,</li> <li>All other times including Sundays and Public Holidays 40 dB LA<sub>eq</sub> and 75 dB LA<sub>max</sub>.</li> </ul> <p>(c) The performance standard in (b) above does not apply to the following Lots:</p> <ul style="list-style-type: none"> <li>Section 3 SO 432231</li> <li>Part Lot 4 DP 7322</li> <li>Lot 1 DPS 35427</li> <li>Lot 3 DP 7322</li> <li>Lot 2 DP 473506</li> </ul> <p>(d) That, all noise levels shall be measured and assessed in accordance with the requirements of New Zealand Standard NZS 6801:2008 “Acoustics – Measurement of Environmental Sound” and New Zealand Standard NZS 6802:2008 “Acoustics - Environmental Noise”</p> <p>(e) All construction noise shall comply with the relevant noise levels stated in New Zealand Standard NZS 6803:1999, section 7.2 ‘Recommended numerical limits for construction noise’ and shall be measured and assessed in accordance with New Zealand Standard NZS 6803:1999 “Acoustics - Construction Noise”</p>

1.1 PERFORMANCE STANDARDS <b>FOR PERMITTED AND CONTROLLED ACTIVITIES</b> – continued											
11. Vibration	<p>(a) Vibration shall not exceed the following average levels:</p> <p>(i) At or within the boundary of any site zoned residential, or within 20m of any dwelling in the rural or rural-residential zones:</p> <table> <tr> <th>Time</th><th>Average Weighted Vibration Level (Wb or Wd)</th></tr> <tr> <td>Monday to Saturday 7.00 - 6.00pm (0700 - 1800)</td><td>45 mm/s2</td></tr> <tr> <td>At all other times</td><td>15 mm/s2</td></tr> </table> <p>(ii) At or within the boundary of any adjacent site zoned business or industrial:</p> <table> <tr> <th>Time</th><th>Average Weighted Vibration Level (Wb or Wd)</th></tr> <tr> <td>At all times</td><td>60 mm/s2</td></tr> </table> <p>(b) The weighted vibration levels Wb and Wd shall be measured according to BS6841:1987. The average vibration shall be measured over a time period not less than 60 seconds and not longer than 30 minutes. The vibration shall be measured at any point where it is likely to affect the comfort or amenity of persons occupying an adjacent site.</p>	Time	Average Weighted Vibration Level (Wb or Wd)	Monday to Saturday 7.00 - 6.00pm (0700 - 1800)	45 mm/s2	At all other times	15 mm/s2	Time	Average Weighted Vibration Level (Wb or Wd)	At all times	60 mm/s2
Time	Average Weighted Vibration Level (Wb or Wd)										
Monday to Saturday 7.00 - 6.00pm (0700 - 1800)	45 mm/s2										
At all other times	15 mm/s2										
Time	Average Weighted Vibration Level (Wb or Wd)										
At all times	60 mm/s2										
12. Lighting and Glare	<p>(a) At no time between 7.00am and 10.00pm shall any outdoor lighting be used in a manner that causes an added illuminance in excess of 125 lux, measured horizontally or vertically at the boundary of any non-industrial zoned site adjoining.</p> <p>(b) At no time between the hours of 10.00pm and 7.00am shall any outdoor lighting be used in a manner that causes:</p> <p>(i) An added illuminance in excess of 10 lux measured horizontally or vertically at any window of an adjoining building within a non-industrial zone.</p> <p>(ii) An added illuminance in excess of 20 lux measured horizontally or vertically at any point along any non-industrial zone boundary.</p> <p>(c) Where measurement of any added illuminance cannot be made because any person refuses to turn off outdoor lighting, measurements may be made in locations of a similar nature which are not affected by such outdoor lighting.</p> <p>(d) The outdoor lighting on any site adjoining any non-industrial zoned site shall be so selected, located, aimed, adjusted and screened as to ensure that glare resulting from the lighting does not cause a significant level of discomfort to any occupants of the non-industrial site.</p> <p>(e) No reflective material or unpainted surfaces should be used which could cause glare.</p> <p>For the purposes of this rule the discomfort level is defined as one that can be detected and determined to be a nuisance by an appropriately experienced Council officer who is able to apply the frequency, intensity, duration and offensiveness to their observations and who is able to report these accurately.</p>										

1.2 MATTERS OF CONTROL	
1. Controlled Activities provided for in the Development Concept Plan	<p>A. General:</p> <p>(a) Location relative to the DCP.</p> <p>(b) Extent to which activity complies with the Performance Standards within Section 1.1 of the DCP.</p> <p>B. Stormwater and Effluent Effects:</p> <p>(a) The proposal shall be designed and maintained in a manner which prevents as far as practicable, pollution or contamination of land, water or Council's stormwater system. Techniques such as bunding, impermeable layers under bunds and interceptors may be required. The extent of measures required will be determined after having regard to the Building Code and the sensitivity of the receiving environment to discharges. The requirements of the Matamata-Piako District Council Development Manual 2010 shall not apply to existing or future on-site, self-serviced stormwater or wastewater infrastructure.</p> <p>C. Visual:</p> <p>(a) The visual effect of buildings, structures and accesses and manoeuvring areas and earthworks, landscaping or other activities will be assessed in terms of the likely effects on or of:</p> <p>(i) The surrounding environment and general landscape character;</p> <p>(ii) Design elements in relation to the locality;</p> <p>(iii) The mitigating effects of proposed landscaping.</p> <p>(b) In making an assessment of visual impact regard shall be had to:</p> <p>(i) The scale of the facility or building;</p> <p>(ii) Height, cross sectional area, colour and texture of structures and buildings;</p> <p>(iii) Distance to site boundaries and compatibility with surrounding properties;</p>

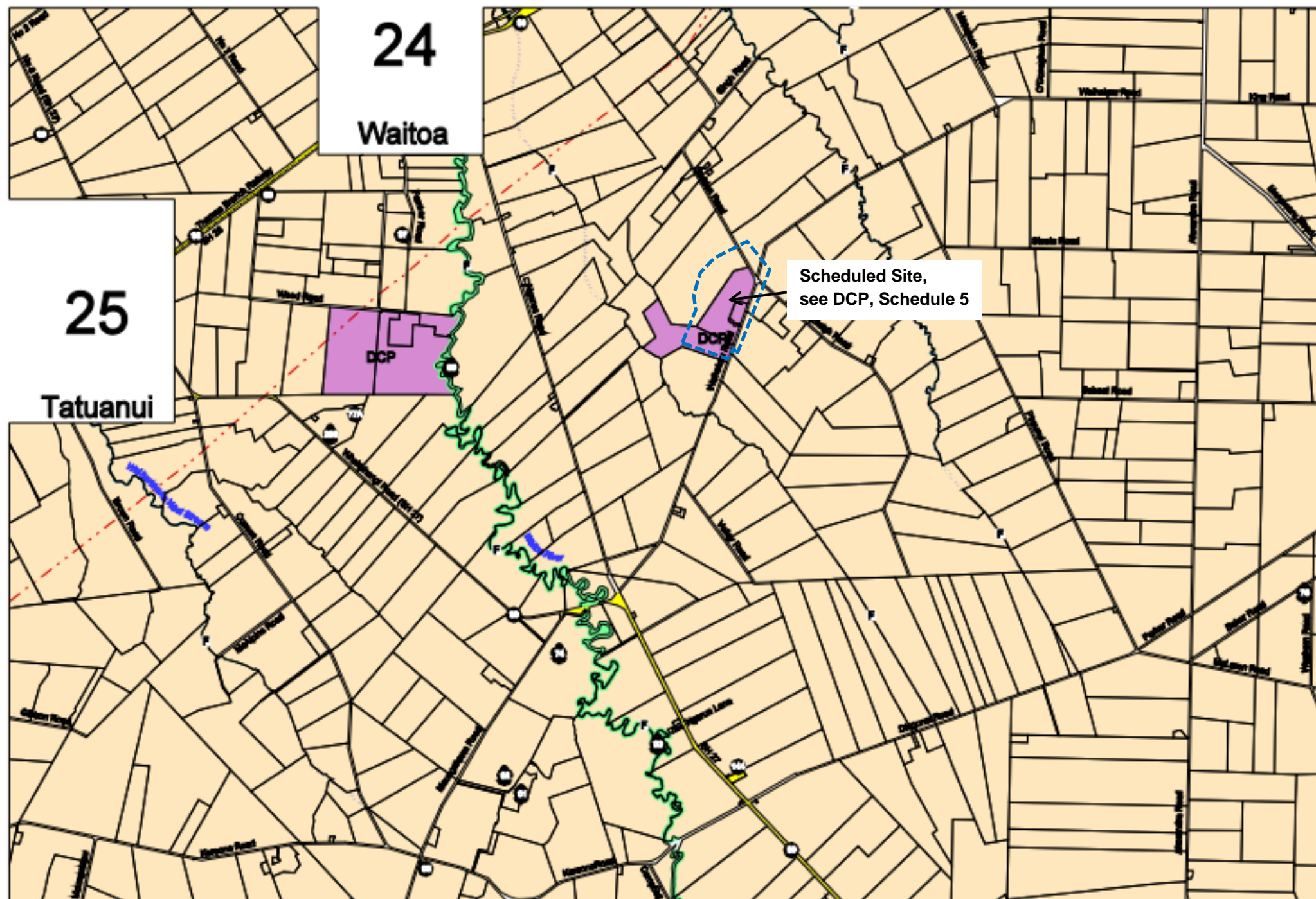
1.2 MATTERS OF CONTROL– continued	
1. Controlled Activities provided for in the Development Concept Plan (continued)	<p>(iv) Proposed planting, fencing and landscaping;</p> <p>(v) Signage;</p> <p>(vi) The intensity of lighting when viewed from a distance;</p> <p>(vii) Effect of lighting on neighbouring amenity;</p> <p>(viii) The opportunity for co-siting of facilities.</p> <p>(c) Assessment of landscaping:</p> <p>(i) Whether existing landscape features are integrated into the new development;</p> <p>(ii) Whether the layout and design are of a high standard, and provide a visual environment that is interesting and in the scale of the propose development;</p> <p>(iii) The size of trees to be planted at the time of planting and at maturity;</p> <p>(iv) The timing of implementation of the landscape plan and the maintenance of approved planting;</p> <p>(v) Whether the type and location of planting promotes public safety;</p> <p>(vi) <b>Whether the vegetation to be planted near electricity transmission lines can be managed to ensure compliance with the Electricity (Hazards from Trees) Regulations 2003;</b></p> <p>(vii) The extent to which the Inghams Plan Change Development Landscape and Visual Assessment, April 2013, and Mitigation Plans L1 Revision R3 dated 18 April 2013 and L2 Revision R4, L4 Revision R0 and L5 Revision R0 dated 23 May 2014, prepared by Mansergh Graham Landscape Architects Ltd is adopted and implemented. In particular and as appropriate regard shall be had to:</p> <ul style="list-style-type: none"> <li>The establishment of evergreen specimen tree mitigation screen planting, capable of reaching a minimum height of 6m, along the western boundary of the proposed carpark expansion/industrial development and to fill in gaps in the existing screen planting along the northern, eastern and southern Building Plant Management Area boundaries;</li> <li>A dense swath of evergreen under-planting beneath the proposed screen planting along the carpark capable of reaching a height of 1m; and</li> <li>The establishment of 15m wide riparian planting along the Waipuna Stream margins and the 5m wide along the lower portion of the un-named ephemeral watercourse.</li> </ul> <p>D. Traffic, Parking, Loading and Access:</p> <p>(a) Any application shall be assessed upon consideration of the following :</p> <p>(i) Gate 6 on the DCP off Seddon Road shall be constructed and made operable following an increase in production over 160,000 birds/day to separate all HCV traffic from the staff and visitor carpark access at Gate 5. The access on Seddon Road should be located a minimum 75m from the Seddon Road / Waiheka Road intersection and be designed to the ‘Large Vehicle Entrance - Rural’ (MPDC DG307c: October 2011) standard in accordance with the requirements of the MPDC Development Manual 2010, inclusive of the minimum 7m access width through the gate amendment in Figure 8 of Inghams ‘Traffic Impact Assessment Waitoa Plant Plan Change’ report, August 2013, prepared by Bloxam Burnett &amp; Olliver Ltd. <b>if necessary, pavement widening opposite the entrance shall be included in the design and carried out to ensure that vehicles turning out of the entrance do not damage the seal edge on the opposite side of Seddon Road. The need for widening shall be assessed using the design HCV and a minimum turning radius (outside front wheel) of 12.5m. The minimum clearance from the outside edge of any wheel to the edge of seal shall be 600mm.</b></p> <p>(ii) <b>The main car park should be extended. Car park spaces shall be provided</b> in stages as production increases to ultimately provide a minimum 564 car park spaces at the production threshold of 250,000 birds/day. Car park spaces <b>should shall</b> be increased at a rate of 15 spaces per 10,000 birds/day in excess of the present baseline 160,000 birds/day.</p> <p>(iii) <b>The effects of traffic anticipated on the ‘whole-of-life’ cost level of service of the road network and the need or otherwise to impose a financial contribution as a condition of consent to avoid, remedy, or mitigate such effects (see Chapter 7 of the District Plan). An agreed financial contribution of \$24,775 plus GST shall be imposed as a condition of consent to avoid, remedy or mitigate the effects of traffic anticipated on the ‘whole-of-life’ cost level of service. Such a condition shall be imposed on the first resource consent application to increase poultry processing numbers beyond 160,000 birds per day. No further contribution relating to the effects of traffic anticipated on the ‘whole-of-life’ cost level of service shall be paid once payment of \$24,775 plus GST has been made.</b></p> <p>(iv) <b>The level of traffic generated by the activity, and the effects of the traffic, are consistent with those anticipated by the ‘Traffic Impact Assessment Waitoa Plant Plan Change’ report, August 2013, prepared by Bloxam Burnett &amp; Olliver Ltd. Where levels/effects are greater than those anticipated, a new ITA prepared in accordance with Chapter 9 of the District Plan will be required.</b></p> <p>(v) <b>Whether upgrades to the transport network, particularly the Ngarua Road/State Highway 27 right turn bay, are required. The cost of the upgrades (if required) shall be apportioned pro-rata to the effects that give rise to the need for the upgrade. For example, if the upgrades are required entirely due to the increase in traffic associated at the poultry processing facility, then the cost shall fall entirely on the poultry processor, and is independent of any payments made under clause (iii) above.</b></p> <p>(vi) <b>The recommendations of an ITA if required (see Rule 9.1.6).</b></p>

1.2 MATTERS OF CONTROL– continued	
1. Controlled Activities provided for in the Development Concept Plan (continued)	<p><del>E. Earthworks:</del>  <del>(a) Methods to avoid, remedy or mitigate the adverse effects of earthworks, not already managed through the Waikato Regional Plan.</del></p> <p><del>F. Storage and handling of hazardous substances:</del>  <del>(a) Methods to avoid, remedy or mitigate the adverse effects of storage and handling of hazardous substances not already managed through the Hazardous Substances and New Organisms Act 1996.</del></p>
1.3 MATTERS OF DISCRETION	
1. Restricted Discretionary Activities provided for in the Development Concept Plan	<p>A. Noise Effects:</p> <p>(a) The Council shall ensure that existing lawfully established activities on neighbouring properties in the locality are not adversely affected by unreasonable noise from the proposal. In determining appropriate noise levels, Council shall have regard to the noise environment of the locality in which it is proposed to site the facility, and the practicality of reducing noise from the utility components.</p> <p>(b) Council shall have regard to Section 5.2 of the District Plan (noise) and the "Guide to assessing road-traffic noise using NZS 6806 for state highway asset improvement projects" by the NZ Transport Agency (October 2011).</p> <p>B. Stormwater and Effluent Effects:</p> <p>Refer to the Stormwater and Effluent Effects matters of control for Controlled Activities within Section 1.2.B.</p>

1.3 MATTERS OF DISCRETION	
1. Restricted Discretionary Activities provided for in the Development Concept Plan (continued).	<p>C. Visual: Refer to the Visual matters of control for Controlled Activities within Section 1.2.C.</p> <p>D. Traffic, Parking, Loading and Access:</p> <p>(a) Any application shall be assessed upon consideration of the following :</p> <p>(i) Traffic volumes, traffic mix relative to the existing and future traffic patterns, access, parking and loading on-site.</p> <p>(ii) Hours of operation relative to the existing and future neighbourhood amenity.</p> <p>(iii) Construction traffic volumes, traffic mix, hours of operation.</p> <p>(iv) Design and location of access points onto roads.</p> <p>(v) <del>The effects of traffic anticipated on the ‘whole-of-life’ cost level of service of the road network and the need or otherwise to impose a financial contribution as a condition of consent to avoid, remedy, or mitigate such effects (see Chapter 7 of the District Plan).</del>  An agreed financial contribution of \$24,775 plus GST shall be imposed as a condition of consent to avoid, remedy or mitigate the effects of traffic anticipated on the ‘whole-of-life’ cost level of service. Such a condition shall be imposed on the first resource consent application to increase poultry processing numbers beyond 160,000 birds per day. No further contribution relating to the effects of traffic anticipated on the ‘whole-of-life’ cost level of service shall be paid once payment of \$24,775 plus GST has been made.</p> <p>(vi) <del>The extent to which the levels of traffic generated by the activity, and the effects of the traffic, are consistent with those anticipated by the ‘Traffic Impact Assessment Waitoa Plant Plan Change’ report, August 2013, prepared by Bloxam Burnett &amp; Olliver Ltd. Where levels/effects are greater than those anticipated, a new ITA prepared in accordance with Chapter 9 of the District Plan will be required.</del></p> <p>(vii) <del>Whether upgrades to the transport network, particularly the Ngarua Road/State Highway 27 right turn bay, are required. The cost of the upgrades (if required) shall be apportioned pro-rata to the effects that give rise to the need for the upgrade. For example, if the upgrades are required entirely due to the increase in traffic associated at the poultry processing facility, then the cost shall fall entirely on the poultry processor, and is independent of any payments made under clause (v) above.</del></p> <p>(viii) <del>The recommendations of an ITA if required (see Rule 9.1.6).</del></p> <p>The requirements of the MPDC Development Manual 2010 shall be met in respect of the relevant matters outlined.</p> <p>E. Odour Effects:</p> <p>(a) Council shall consider the effect of the probability of offensive odours from the operation of facilities and in particular the operation of waste treatment and disposal facilities and solid waste management disposal sites.</p> <p>F. Solid Waste:</p> <p>(a) Any application shall undertake a solid waste audit to identify waste reduction and/or to conform with the Council’s solid waste minimisation strategy.</p> <p>G. Risk Management:</p> <p>(a) Any application shall advise on the risk associated with, but not restricted to :</p> <p>(i) The use of hazardous substances in the facility and proof that the New Zealand Fire Service and the Waikato Regional Council have been advised.</p> <p>(ii) The technology used in the provision of the service, eg. high voltage, electricity, radio-active material, electro magnetic radiation.</p> <p>(iii) Risk of rupture, breakage, collapse, failure, movement etc of components of the facility as it relates to the design and maintenance of the facility and the effect of natural hazards on the facility.</p> <p>(iv) The measures inherent in the proposal which will avoid, remedy or mitigate the potential for that effect to occur.</p>
2. Discretionary Activities provided for in the Development Concept Plan	<p>For Discretionary Activities Council shall as a minimum have regard to all the matters of control for Controlled Activities within Section 1.2 and the matters of discretion for Restricted Discretionary Activities within Section 1.3.1. The matters of control for Controlled Activities and matters of discretion for Restricted Discretionary Activities are only a guide to the matters Council will consider and shall not restrict Council’s discretionary powers. <u>In regard to earthworks, the Council shall consider methods to avoid, remedy or mitigate the adverse effects not already managed through the Waikato Regional Plan. In regard to hazardous substances, the Council shall consider methods to avoid, remedy or mitigate the adverse effects of the storage and handling of hazardous substances not already managed through the Hazardous Substances and New Organisms Act 1996.</u></p>

**Recommendations on modification  
of the Plan Change  
(Clean Version)**





#### ZONES:

- BUSINESS
- KAITIAKI (CONSERVATION)
- INDUSTRIAL
- RESIDENTIAL
- ROAD
- RURAL

#### NATURAL HAZARD AREAS:

- FLOOD HAZARDS
- PEAT SOILS
- DETENTION PONDS & SPILLWAYS
- LAND INSTABILITY
- FIRE HAZARD BUFFER

NOISE EMISSION CONTROL BOUNDARY:  
(See DCP, Schedule 5)

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#### OTHER FEATURES/CONTROLS:

- DESIGNATIONS
- WATER COURSE
- DISTRICT BOUNDARY
- PARCEL BOUNDARIES
- TRANSMISSION LINE
- DEVELOPMENT CONCEPT PLAN
- PROTECTED TREE OR OBJECT
- CROWN LAND RESERVED FROM SALE
- DESIGNATED SITE
- RESERVES
- WAHAI TAPU SITE
- HERITAGE SITE

# NGARUA

Scale 1:50,000

Version 1 – Operative 25 July 2008



5/8

7

8

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11

## **Schedule 5: Sites subject to a Development Concept Plan**

### **Fonterra Waitoa**

Lot 2 DPS 78059 (CT 62A/265), Lot 3 DPS 78060 (CT 62A/267), Lot 4 DPS 78061 (CT 62A/254), Lot 9 DPS 78061 (CT 62A/255), Lot 5 DPS 78059 (CT 62A/266) and Lots 6, 7 and 8 DPS 76060 (CT 62A/268).

### **Fonterra Morrinsville**

Part Lot 1 DPS 52637, Railway Lease L46167.

### **Tatua Co-operative Dairy Company Limited Tatuani**

Lot 1 DPS 11186, Lot 1 and Part Lot 2 DPS 68, Lot 1 DP 12404 DP 9359, Lots 1 and 2 DPS 33988, Lot 1 DPS 16815, Lot 1 DPS 3109, Part Lot 2 DP 9358, Lot 2 DPS 71013, Block III Maungakawa SD.

### **Wallace Corporation Limited**

(Includes J D Wallace Limited, Wallford Meats, Eureka Skin and Hides)

Lot 4 DP 5006, Lot 1 DPS 47313, Part Lots 2 and 3 DP 29915, Block VI Maungakawa SD.

### **Poultry Processing and Manufacturing Site, Waiheka Road, Waitoa**

Lot 2 DP 446379 and Section 19 Block IV Maungakawa SD.

### **Advice Note:**

This Development Concept Plan (DCP) comprises eight sheets (numbered Sheet 1 – Sheet 8). The landscaping requirements are set out on Sheets 5 – 8. These sheets have been reproduced from the Landscape and Visual Assessment by Mansergh Graham (Report Version: R2/13, dated April 2013) where they are referenced as follows:

Sheet 5 – L1

Sheet 6 – L2

Sheet 7 – L4

Sheet 8 – L5

Landscape Plan L3 shows the location of views assessed during the landscape study and is therefore not relevant and not referenced as part of the DCP.

### **De Gussa**

Lot 2 DPS 51800, Block VI, Maungakawa SD.

### **BOP Fertiliser Ltd**

Lot 3 DPS 51800, Block VI, Maungakawa SD.

**ICHEM Limited**

Lot 1 DPS 51800, Block VI, Maungakawa SD.

**Te Aroha Skin Processors Limited**

Lot 8 DPS 33821, Block XI Aroha SD.

**Totara Springs Christian Centre**

Part Section 1A Mangawhero Settlement, SO 13998, Lot 1 DPS 34763, Block III Tapapa SD.

**New Zealand Mushrooms Limited – Snell Street, Morrinsville**

Section 1 SO 55982, Lot 7A DP 2465 and PT Lot 1 DP 16287, all being part of the Motumaoho No. 2 Block.

**New Zealand Mushrooms Limited – Taukoro Road, Morrinsville**

Lot 1 DP 36969, Block II Maungakawa SD.

**IB and JP Diprose – Barton Road, Okauia**

Part Okauia 1 Block being Part DP7148, Okauia 4B Block, Lot 1 DPS 24315 Blocks IV and VIII Tapapa SD.

**DL and JL Swap**

Part Section 126, Block II, Tapapa East Survey District (CT SA5B/22).

**Richmonds Limited**

Part Section 6 DP 18461 and Lot 1 DPS17578, Part Sections 12, 21, 32, 33, 34, 35, 36 and 37 Block XI, Aroha SD, and Part Section 6 Block XI Aroha SD.

**Greenlea Premier Meats Limited Morrinsville**

Motumaoho Number 2 block and lots 1 and 2 and part lot 2 DP 17820, Section 1, SO Plan 5384, Lots 3 and 4 DP 20396 and Part Lot 100A DP 2461.

***Advice note: See Part C: Planning Maps for the Development Concept Plans.***



ACTIVITY SCHEDULE

**PERMITTED ACTIVITIES:**  
Subject to compliance with the relevant performance standards within Section 1.1 the following activities are permitted:  
**IRRIGATION MANAGEMENT AREA:**  
•Irrigation spraying of wastewater produced from onsite poultry processing and manufacture activities.  
•Farming excluding intensive farming.  
•Alterations and additions to the existing dwelling shown on this DCP.

**BUILDING AND PLANT MANAGEMENT AREA:**  
•Processing of up to 160,000 poultry per day.  
•Manufacture and packaging of primarily poultry based products, but not including rendering operations.  
•Plant and buildings associated and ancillary to a permitted activity.  
•Vehicular access numbered ① – ⑥ parking, loading, and manoeuvring areas.  
•Workshops and the repair and servicing of vehicles and machinery associated with the site.

**TOTAL DCP:**  
•Any activity identified in the activity table as a Permitted Activity in the Rural Zone not otherwise provided for in this DCP.  
•Wastewater and water treatment facilities.  
•Any structure in, on, under or over the Waipuna Stream.  
•Earthworks relating to a permitted, controlled or restricted discretionary activity.  
•Storage and handling of hazardous substances relating to a permitted, controlled or restricted discretionary activity.

**CONTROLLED ACTIVITIES:**  
Subject to compliance with the relevant performance standards in Section 1.1 the following activities are controlled:

**BUILDING AND PLANT MANAGEMENT AREA:**  
•Processing of between 160,000 and 250,000 poultry per day.  
•Plant and buildings associated and ancillary to a controlled activity.

**TOTAL DCP:**  
•Any activity identified in the activity table as a Controlled Activity in the Rural Zone not otherwise provided for in this DCP.

The matters of control within Section 1.2 shall apply.

**RESTRICTED DISCRETIONARY ACTIVITIES:**  
The following activities are restricted discretionary:

**TOTAL DCP:**  
•Any permitted or controlled activity which is provided for in this DCP and does not meet the relevant performance standards within Section 1.1.  
•Any activity identified in the activity table as a Restricted Discretionary Activity in the Rural Zone not otherwise provided for in this DCP.  
The matters of discretion within Section 1.3.1 shall apply.

**DISCRETIONARY ACTIVITIES:**  
The following activities are discretionary:

**BUILDING AND PLANT MANAGEMENT AREA:**  
•Processing in excess of 250,000 poultry per day.  
•Plant and buildings associated and ancillary to a discretionary activity.  
•Manufacture and packaging of other food products not primarily poultry based, but not including rendering activities.

**TOTAL DCP:**  
•Any activity which is provided for in this DCP as a Restricted Discretionary Activity and does not meet the performance standards within Section 1.1.  
•Any activity that is not provided for in this DCP as a Permitted, Controlled, or Restricted Discretionary Activity but which can meet the performance standards within Section 1.1.  
•Any activity which is not located in accordance with this DCP but which can meet the performance standards within Section 1.1.  
The matters of discretion within Section 1.3.2 shall apply.

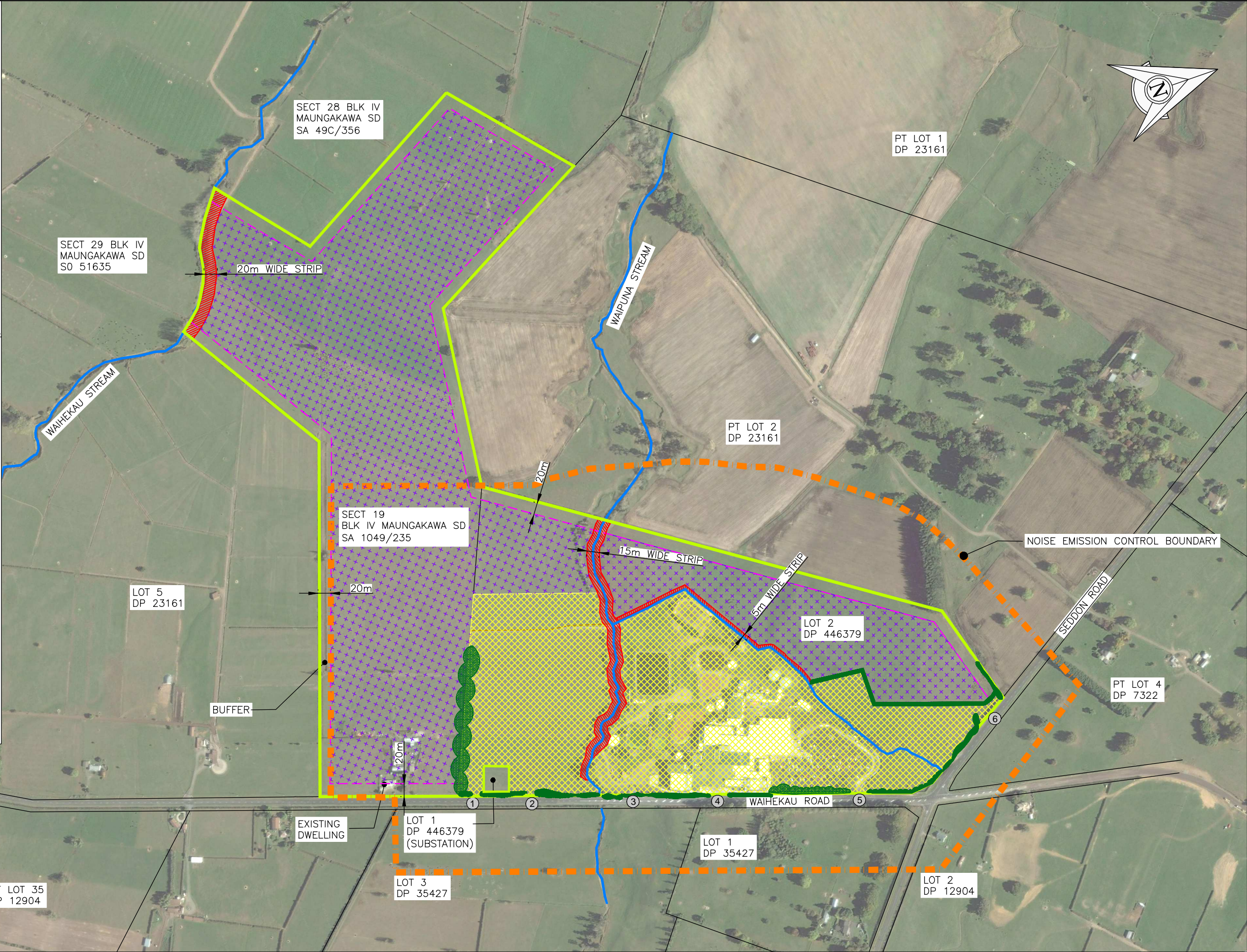
**NON-COMPLYING ACTIVITIES:**  
The following activities are non-complying:

**TOTAL DCP:**  
•Any activity which is not provided for in this DCP as a Permitted, Controlled, Restricted Discretionary or Discretionary Activity and cannot meet all of the performance standards within Section 1.1.  
•Any activity which is not located in accordance with this DCP and cannot meet all of the performance standards within Section 1.1.  
•Rendering Activities.

**KEY:**

- DEVELOPMENT CONCEPT PLAN BOUNDARY
- IRRIGATION MANAGEMENT AREA
- BUILDING AND PLANT MANAGEMENT AREA
- RIPARIAN MANAGEMENT
- EXISTING AND PROPOSED SCREEN PLANTING (FOR DETAILS REFER TO DCP SHEETS 5, 6, 7 & 8)
- LOCATION OF VEHICLE ACCESSES
- IRRIGATION BUFFER (20m)
- NOISE EMISSION CONTROL BDY

NOTE: LOT 1 DP446379 (SUBSTATION) IS NOT PART OF THE DCP AREA



DEVELOPMENT CONCEPT PLAN  
Poultry Processing and Manufacturing Site, Waihekau Road, Waitoa  
July 2015



1.1 PERFORMANCE STANDARDS FOR PERMITTED AND CONTROLLED ACTIVITIES	
1. Use of Land for Wastewater produced from onsite poultry processing and manufacture activities	<p>(a) Any effluent disposal system (including disposal onto land by way of spray irrigation) associated with the disposal of non-human waste shall comply with the following:</p> <p>(i) All disposal/spraying shall be within the Irrigation Management Area shown on the DCP.</p> <p>(ii) No spraying shall occur from a public road or place.</p> <p>(iii) Any mud or materials deposited on the roadway from vehicles associated with the disposal of waste shall be removed immediately.</p>
2. Building Envelope for the existing dwelling shown on this DCP and associated accessory buildings.	<p>(a) Maximum Height: 10m.</p> <p>(b) Height relative to site boundary: No part of any building shall exceed a height of 3m plus the shortest horizontal distance between that part of the building and the nearest site boundary.</p> <p>(c) Front yard: Any extension or addition to the existing dwelling shall be erected behind the front line of the dwelling.</p> <p>(d) Rear and side yards: 10m.</p>
3. Building Envelope for all buildings associated and accessory to a permitted activity listed in this DCP.	<p>(a) Maximum height: 20m.</p> <p>(b) Yards adjoining any road or non-Industrial Zone: 20m.</p> <p>(c) All other yards: 10m.</p> <p>(d) Height relative to boundary: Height shall not exceed one quarter of the distance (d) to the closest boundary adjoining (<math>h=d/4</math>) for boundaries adjoining any non-Industrial Zone.</p>
4. Access	<p>(a) Vehicular accesses shall be located in accordance with the DCP.</p> <p>(b) Vehicular accesses shall be designed and constructed in accordance with the MPDC Development Manual 2010.</p> <p>(c) When formed, Gate 2 shall be designed to a ‘Large Vehicle Entrance - Rural’ (MPDC DG307c: October 2011) standard in accordance with the requirements of the MPDC Development Manual 2010, inclusive of the minimum 7m access width through the gate amendment in Figure 8 of the Inghams ‘Traffic Impact Assessment Waitoa Plant Plan Change’ report, August 2013, prepared by Bloxam Burnett &amp; Olliver Ltd, and be located at least 75m south of Gate 3 as shown on the DCP. The existing painted flush median on Waihekau Road shall also be extended 90m south of the access along with any local shoulder widening in accordance with the MPDC Development Manual 2010.</p> <p>(d) All vehicle access via the Gate 4 entrance shall be carried out in accordance with a Management Plan approved by Council. The management plan shall detail the processes and protocols in place to ensure that no vehicles manoeuvre in the Waihekau Road traffic lanes (road carriageway) and no conflict occurs between vehicles using the entranceway. The Management Plan must provide for the following:</p> <p>(i) That all vehicles greater than 5.2m in length shall enter the entranceway from a southern direction from Waihekau Road.</p> <p>(ii) That no more than two service vehicles shall be permitted to use the dispatch area at any one time.</p> <p>(iii) The vehicle movements shall be managed to prevent any more than one poultry truck and two service vehicles from needing to use the dispatch area and entranceway at any one time.</p> <p>(iv) That the area north of the entrance shall be maintained to a fully formed and sealed part of Waihekau Road.</p> <p>(v) That the existing “Poultry product truck” signage to the north and south of the site shall be maintained.</p> <p>Any proposed variation to the Management Plan shall be approved in accordance with the above by Council prior to implementation of the amendment(s).</p> <p>(e) That the manoeuvring area served by the wastewater access (Gate 3) shall be kept clear of all impediments and obstructions to vehicle manoeuvring.</p> <p>(f) All heavy vehicles travelling south, west or northwest to and from the site shall travel via Waihekau Road and SH27. Only heavy vehicles with destinations to the northeast shall be permitted to use the Seddon Road / SH26 intersection. Traffic routes and number of vehicles using the routes shall be recorded and be available upon request by Council.</p> <p>(g) That loose material shall not be tracked onto the carriageway of Waihekau Road or Seddon Road that may cause a hazard/nuisance to road users</p>
5. Odour	<p>(a) The management of activities shall ensure that there is no odour nuisance at or beyond the boundary of the property.</p> <p>For the purpose of this rule an odour nuisance is defined as one that can be detected and determined to be a nuisance by three observers who are neutral to the issue, able to apply the frequency, intensity, duration and offensiveness to their observations and who are able to report these accurately; or an appropriately experienced Council or Regional Council Officer after having considered objectives, policies and guidelines of assessment as provided in the relevant sections of a Regional Air Plan or consideration of the provisions in Section 17 and Part XII of the RMA.</p>

1.1 PERFORMANCE STANDARDS FOR PERMITTED AND CONTROLLED ACTIVITIES – <i>continued</i>	
6. Traffic Generation	(a) Traffic generation from the site shall not exceed 1735 vehicle movements per day (total inbound and outbound).
7. Car Parking, Formation and Manoeuvring	<p>(a) 435 parking spaces shall be provided on site where production is at or below 160,000 birds.</p> <p>(b) All parking and loading spaces, and access and manoeuvring areas shall be formed and surfaced in accordance with the MPDC Development Manual 2010.</p> <p>(c) All parking and loading spaces shall be maintained and line marked to the standards of the Matamata-Piako District Plan.</p> <p>(d) All parking and loading spaces shall be provided on-site exclusive of land required for any screen planting area required by the DCP, access, or any manoeuvring area, including the manoeuvring areas required for vehicles accessing the dispatch area (Gate 4).</p> <p>(e) Parking and loading spaces are to be either visible from the public road or clearly signposted at the road frontage.</p> <p>(f) Parking and loading spaces shall be provided so that sufficient space is provided on-site so that no reverse manoeuvring onto or from a road is needed. The manoeuvring space provided shall take into account the type of vehicle anticipated.</p> <p>(g) All vehicles associated with the site shall be parked on the site. No vehicles shall be parked in the road reserve.</p>
8. Landscaping	<p>(a) The existing and proposed screen and riparian planting shown on the Mitigation Strategy Plans L1 revision R3 dated 18 April 2013 and L2 revision R4 dated 23 May 2014 prepared by Mansergh Graham Landscape Architects Ltd shall be retained and/or implemented (where required following site development) and maintained.</p> <p>(b) Vegetation to be planted near electricity transmission lines shall be selected and/or managed to ensure it will not result in that vegetation breaching the Electricity (Hazards from Trees) Regulations 2003.</p>
9. Signage	<p>(a) Signs attached to or forming part of the principal building, its walls or canopies:</p> <p>(i) A maximum of 3 signs.</p> <p>(ii) Each sign shall not exceed 6.0m<sup>2</sup> in area.</p> <p>(b) Naming or directional signs displayed at each entrance to the site: each sign shall not exceed 3.0m<sup>2</sup>.</p> <p>(c) Any painted or similar sign, or static illuminated sign which is not visible from beyond the site: no size maximum.</p> <p>(d) Safety signs to meet legislative requirements: no size maximum.</p> <p>(e) Temporary signs: no size maximum.</p> <p>(f) The size of letters on signs shall comply with the following minimum height standards in relation to speed limits:</p> <p>50 km/hr ..... 75mm</p> <p>100 km/hr ..... 175mm</p>
10. Noise	<p>(a) That the corrected noise level measured at the Noise Emission Control Boundary shall not exceed:</p> <ul style="list-style-type: none"> <li>Monday to Saturday (5 am to 9 pm) 50 dB LA<sub>eq</sub>,</li> <li>All other times including Sundays and Public Holidays 45 dB LA<sub>eq</sub> and 75 dB LA<sub>max</sub>.</li> </ul> <p>(b) That the corrected noise level measured at the notional boundary of any dwelling which exists at the date of the DCP (October 2014), except dwellings on the Lots detailed in (c) following, shall not exceed:</p> <ul style="list-style-type: none"> <li>Monday to Saturday (5 am to 9 pm) 50 dB LA<sub>eq</sub>,</li> <li>All other times including Sundays and Public Holidays 40 dB LA<sub>eq</sub> and 75 dB LA<sub>max</sub>.</li> </ul> <p>(c) The performance standard in (b) above does not apply to the following Lots:</p> <ul style="list-style-type: none"> <li>Section 3 SO 432231</li> <li>Part Lot 4 DP 7322</li> <li>Lot 1 DPS 35427</li> <li>Lot 3 DP 7322</li> <li>Lot 2 DP 473506</li> </ul> <p>(d) That, all noise levels shall be measured and assessed in accordance with the requirements of New Zealand Standard NZS 6801:2008 “Acoustics – Measurement of Environmental Sound” and New Zealand Standard NZS 6802:2008 “Acoustics - Environmental Noise”</p> <p>(e) All construction noise shall comply with the relevant noise levels stated in New Zealand Standard NZS 6803:1999, section 7.2 ‘Recommended numerical limits for construction noise’ and shall be measured and assessed in accordance with New Zealand Standard NZS 6803:1999 “Acoustics - Construction Noise”</p>

1.1 PERFORMANCE STANDARDS FOR PERMITTED AND CONTROLLED ACTIVITIES – continued											
11. Vibration	<div><div>(a) Vibration shall not exceed the following average levels:</div><div><div><div>(i) At or within the boundary of any site zoned residential, or within 20m of any dwelling in the rural or rural-residential zones:</div><table><tr><th>Time</th><th>Average Weighted Vibration Level (Wb or Wd)</th></tr><tr><td>Monday to Saturday 7.00 - 6.00pm (0700 - 1800)</td><td>45 mm/s2</td></tr><tr><td>At all other times</td><td>15 mm/s2</td></tr></table></div><div><div>(ii) At or within the boundary of any adjacent site zoned business or industrial:</div><table><tr><th>Time</th><th>Average Weighted Vibration Level (Wb or Wd)</th></tr><tr><td>At all times</td><td>60 mm/s2</td></tr></table></div></div><div>(b) The weighted vibration levels Wb and Wd shall be measured according to BS6841:1987. The average vibration shall be measured over a time period not less than 60 seconds and not longer than 30 minutes. The vibration shall be measured at any point where it is likely to affect the comfort or amenity of persons occupying an adjacent site.</div></div>	Time	Average Weighted Vibration Level (Wb or Wd)	Monday to Saturday 7.00 - 6.00pm (0700 - 1800)	45 mm/s2	At all other times	15 mm/s2	Time	Average Weighted Vibration Level (Wb or Wd)	At all times	60 mm/s2
Time	Average Weighted Vibration Level (Wb or Wd)										
Monday to Saturday 7.00 - 6.00pm (0700 - 1800)	45 mm/s2										
At all other times	15 mm/s2										
Time	Average Weighted Vibration Level (Wb or Wd)										
At all times	60 mm/s2										
12. Lighting and Glare	<div><div>(a) At no time between 7.00am and 10.00pm shall any outdoor lighting be used in a manner that causes an added illuminance in excess of 125 lux, measured horizontally or vertically at the boundary of any non-industrial zoned site adjoining.</div><div>(b) At no time between the hours of 10.00pm and 7.00am shall any outdoor lighting be used in a manner that causes:<div><div>(i) An added illuminance in excess of 10 lux measured horizontally or vertically at any window of an adjoining building within a non-industrial zone.</div><div>(ii) An added illuminance in excess of 20 lux measured horizontally or vertically at any point along any non-industrial zone boundary.</div></div></div><div>(c) Where measurement of any added illuminance cannot be made because any person refuses to turn off outdoor lighting, measurements may be made in locations of a similar nature which are not affected by such outdoor lighting.</div><div>(d) The outdoor lighting on any site adjoining any non-industrial zoned site shall be so selected, located, aimed, adjusted and screened as to ensure that glare resulting from the lighting does not cause a significant level of discomfort to any occupants of the non-industrial site.</div><div>(e) No reflective material or unpainted surfaces should be used which could cause glare.</div><div>For the purposes of this rule the discomfort level is defined as one that can be detected and determined to be a nuisance by an appropriately experienced Council officer who is able to apply the frequency, intensity, duration and offensiveness to their observations and who is able to report these accurately.</div></div>										

1.2 MATTERS OF CONTROL	
1. Controlled Activities provided for in the Development Concept Plan	<div><div>A. General:<div><div>(a) Location relative to the DCP.</div><div>(b) Extent to which activity complies with the Performance Standards within Section 1.1 of the DCP.</div></div></div><div>B. Stormwater and Effluent Effects:<div>(a) The proposal shall be designed and maintained in a manner which prevents as far as practicable, pollution or contamination of land, water or Council's stormwater system. Techniques such as bunding, impermeable layers under bunds and interceptors may be required. The extent of measures required will be determined after having regard to the Building Code and the sensitivity of the receiving environment to discharges. The requirements of the Matamata-Piako District Council Development Manual 2010 shall not apply to existing or future on-site, self-serviced stormwater or wastewater infrastructure.</div></div><div>C. Visual:<div><div>(a) The visual effect of buildings, structures and accesses and manoeuvring areas and earthworks, landscaping or other activities will be assessed in terms of the likely effects on or of:<div><div>(i) The surrounding environment and general landscape character;</div><div>(ii) Design elements in relation to the locality;</div><div>(iii) The mitigating effects of proposed landscaping.</div></div></div></div></div></div>

1.2 MATTERS OF CONTROL– continued	
	<div><div><div>(b) In making an assessment of visual impact regard shall be had to:<div><div>(i) The scale of the facility or building;</div><div>(ii) Height, cross sectional area, colour and texture of structures and buildings;</div><div>(iii) Distance to site boundaries and compatibility with surrounding properties;</div><div>(iv) Proposed planting, fencing and landscaping;</div><div>(v) Signage;</div><div>(vi) The intensity of lighting when viewed from a distance;</div><div>(vii) Effect of lighting on neighbouring amenity;</div><div>(viii) The opportunity for co-siting of facilities.</div></div></div><div>(c) Assessment of landscaping:<div><div>(i) Whether existing landscape features are integrated into the new development;</div><div>(ii) Whether the layout and design are of a high standard, and provide a visual environment that is interesting and in the scale of the propose development;</div><div>(iii) The size of trees to be planted at the time of planting and at maturity;</div><div>(iv) The timing of implementation of the landscape plan and the maintenance of approved planting;</div><div>(v) Whether the type and location of planting promotes public safety;</div><div>(vi) Whether the vegetation to be planted near electricity transmission lines can be managed to ensure compliance with the Electricity (Hazards from Trees) Regulations 2003;</div><div>(vii) The extent to which the Inghams Plan Change Development Landscape and Visual Assessment, April 2013, and Mitigation Plans L1 Revision R3 dated 18 April 2013 and L2 Revision R4, L4 Revision R0 and L5 Revision R0 dated 23 May 2014, prepared by Mansergh Graham Landscape Architects Ltd is adopted and implemented. In particular and as appropriate regard shall be had to:<div><div><div>• The establishment of evergreen specimen tree mitigation screen planting, capable of reaching a minimum height of 6m, along the western boundary of the proposed carpark expansion/industrial development and to fill in gaps in the existing screen planting along the northern, eastern and southern Building Plant Management Area boundaries;</div><div>• A dense swath of evergreen under-planting beneath the proposed screen planting along the carpark capable of reaching a height of 1m; and</div><div>• The establishment of 15m wide riparian planting along the Waipuna Stream margins and the 5m wide along the lower portion of the un-named ephemeral watercourse.</div></div></div></div></div></div><div>D. Traffic, Parking, Loading and Access:<div><div>(a) Any application shall be assessed upon consideration of the following :<div><div>(i) Gate 6 on the DCP off Seddon Road shall be constructed and made operable following an increase in production over 160,000 birds/day to separate all HCV traffic from the staff and visitor carpark access at Gate 5. The access on Seddon Road should be located a minimum 75m from the Seddon Road / Waihekau Road intersection and be designed to the ‘Large Vehicle Entrance - Rural’ (MPDC DG307c: October 2011) standard in accordance with the requirements of the MPDC Development Manual 2010, inclusive of the minimum 7m access width through the gate amendment in Figure 8 of Inghams ‘Traffic Impact Assessment Waitoa Plant Plan Change’ report, August 2013, prepared by Bloxam Burnett &amp; Olliver Ltd. If necessary, pavement widening opposite the entrance shall be included in the design and carried out to ensure that vehicles turning out of the entrance do not damage the seal edge on the opposite side of Seddon Road. The need for widening shall be assessed using the design HCV and a minimum turning radius (outside front wheel) of 12.5m. The minimum clearance from the outside edge of any wheel to the edge of seal shall be 600mm.</div><div>(ii) Car park spaces shall be provided in stages as production increases to ultimately provide a minimum 564 car park spaces at the production threshold of 250,000 birds/day. Car park spaces shall be increased at a rate of 15 spaces per 10,000 birds/day in excess of the present baseline 160,000 birds/day.</div><div>(iii) An agreed financial contribution of \$24,775 plus GST shall be imposed as a condition of consent to avoid, remedy or mitigate the effects of traffic anticipated on the ‘whole-of-life’ cost level of service. Such a condition shall be imposed on the first resource consent application to increase poultry processing numbers beyond 160,000 birds per day. No further contribution relating to the effects of traffic anticipated on the ‘whole-of-life’ cost level of service shall be paid once payment of \$24,775 plus GST has been made.</div><div>(iv) The level of traffic generated by the activity, and the effects of the traffic, are consistent with those anticipated by the ‘Traffic Impact Assessment Waitoa Plant Plan Change’ report, August 2013, prepared by Bloxam Burnett &amp; Olliver Ltd. Where levels/effects are greater than those anticipated, a new ITA prepared in accordance with Chapter 9 of the District Plan will be required.</div><div>(v) Whether upgrades to the transport network, particularly the Ngarua Road/State Highway 27 right turn bay, are required. The cost of the upgrades (if required) shall be apportioned pro-rata to the effects that give rise to the need for the upgrade. For example, if the upgrades are required entirely due to the increase in traffic associated at the poultry processing facility, then the cost shall fall entirely on the poultry processor, and is independent of any payments made under clause (iii) above.</div><div>(vi) The recommendations of an ITA if required (see Rule 9.1.6).</div></div></div></div></div></div></div>

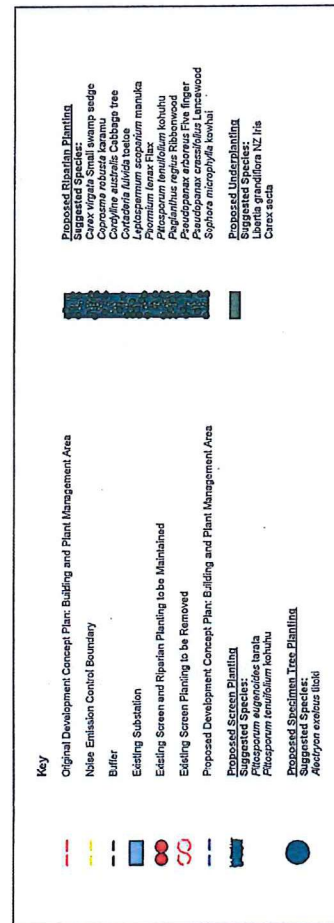
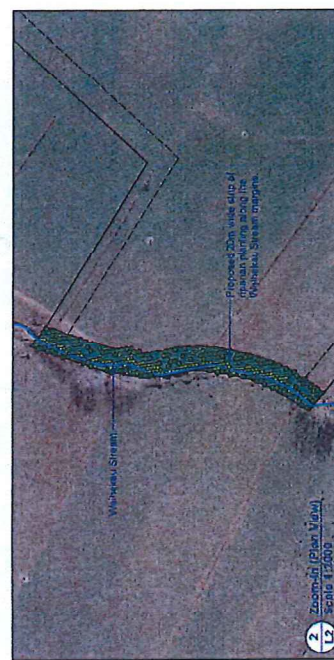
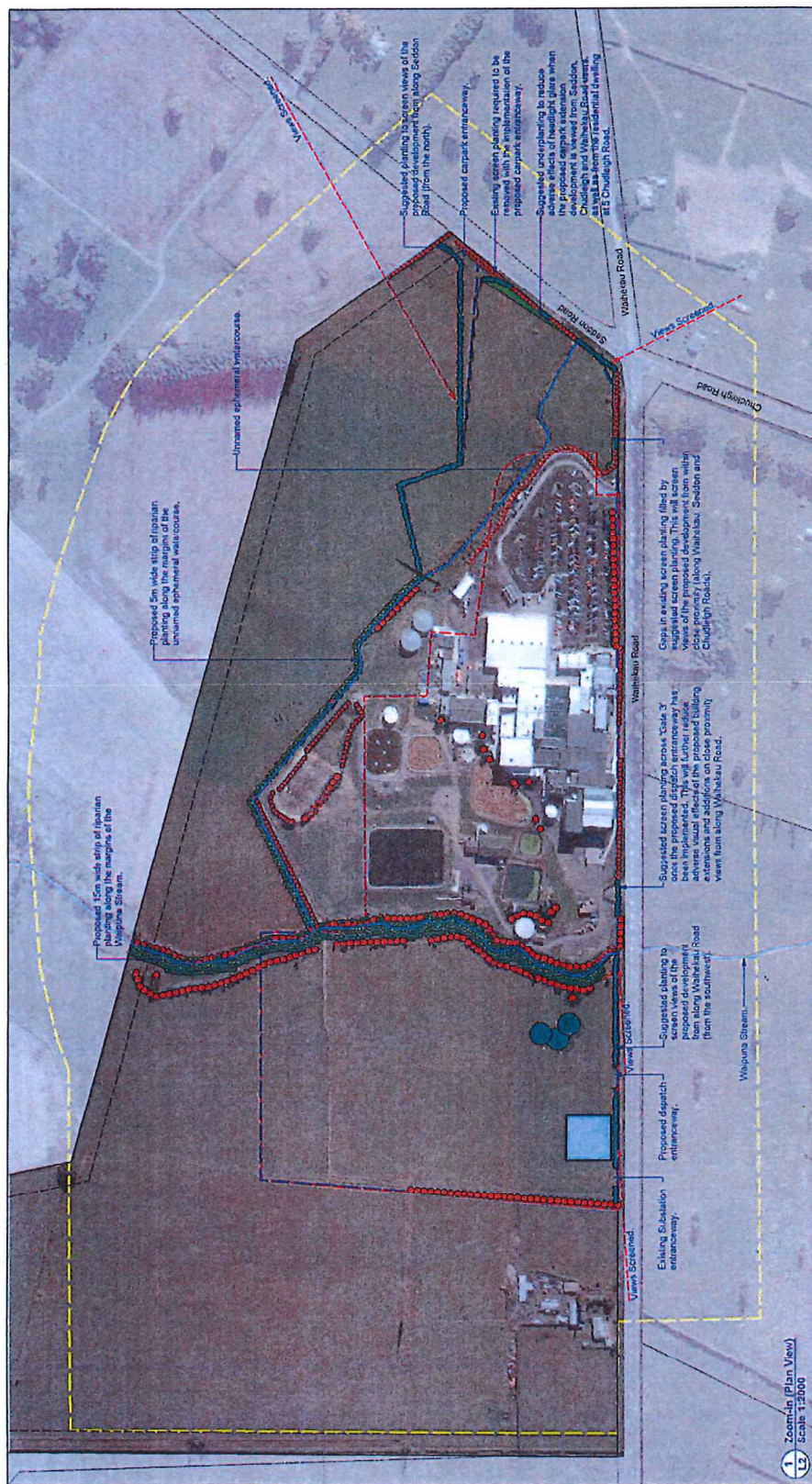
1.3 MATTERS OF DISCRETION	
1. Restricted Discretionary Activities provided for in the Development Concept Plan	<p>A. Noise Effects:</p> <p>(a) The Council shall ensure that existing lawfully established activities on neighbouring properties in the locality are not adversely affected by unreasonable noise from the proposal. In determining appropriate noise levels, Council shall have regard to the noise environment of the locality in which it is proposed to site the facility, and the practicality of reducing noise from the utility components.</p> <p>(b) Council shall have regard to Section 5.2 of the District Plan (noise) and the "Guide to assessing road-traffic noise using NZS 6806 for state highway asset improvement projects" by the NZ Transport Agency (October 2011).</p> <p>B. Stormwater and Effluent Effects: Refer to the Stormwater and Effluent Effects matters of control for Controlled Activities within Section 1.2.B.</p> <p>C. Visual: Refer to the Visual matters of control for Controlled Activities within Section 1.2.C.</p> <p>D. Traffic, Parking, Loading and Access:</p> <p>(a) Any application shall be assessed upon consideration of the following :</p> <p>(i) Traffic volumes, traffic mix relative to the existing and future traffic patterns, access, parking and loading on-site.</p> <p>(ii) Hours of operation relative to the existing and future neighbourhood amenity.</p> <p>(iii) Construction traffic volumes, traffic mix, hours of operation.</p> <p>(iv) Design and location of access points onto roads.</p> <p>(v) An agreed financial contribution of \$24,775 plus GST shall be imposed as a condition of consent to avoid, remedy or mitigate the effects of traffic anticipated on the 'whole-of-life' cost level of service. Such a condition shall be imposed on the first resource consent application to increase poultry processing numbers beyond 160,000 birds per day. No further contribution relating to the effects of traffic anticipated on the 'whole-of-life' cost level of service shall be paid once payment of \$24,775 plus GST has been made.</p> <p>(vi) The extent to which the levels of traffic generated by the activity, and the effects of the traffic, are consistent with those anticipated by the 'Traffic Impact Assessment Waitoa Plant Plan Change' report, August 2013, prepared by Bloxam Burnett &amp; Olliver Ltd. Where levels/effects are greater than those anticipated, a new ITA prepared in accordance with Chapter 9 of the District Plan will be required.</p> <p>(vii) Whether upgrades to the transport network, particularly the Ngarua Road/State Highway 27 right turn bay, are required. The cost of the upgrades (if required) shall be apportioned pro-rata to the effects that give rise to the need for the upgrade. For example, if the upgrades are required entirely due to the increase in traffic associated at the poultry processing facility, then the cost shall fall entirely on the poultry processor, and is independent of any payments made under clause (v) above.</p> <p>(viii) The recommendations of an ITA if required (see Rule 9.1.6).</p> <p>The requirements of the MPDC Development Manual 2010 shall be met in respect of the relevant matters outlined.</p> <p>E. Odour Effects:</p> <p>(a) Council shall consider the effect of the probability of offensive odours from the operation of facilities and in particular the operation of waste treatment and disposal facilities and solid waste management disposal sites.</p> <p>F. Solid Waste:</p> <p>(a) Any application shall undertake a solid waste audit to identify waste reduction and/or to conform with the Council's solid waste minimisation strategy.</p> <p>G. Risk Management:</p> <p>(a) Any application shall advise on the risk associated with, but not restricted to :</p> <p>(i) The use of hazardous substances in the facility and proof that the New Zealand Fire Service and the Waikato Regional Council have been advised.</p> <p>(ii) The technology used in the provision of the service, eg. high voltage, electricity, radio-active material, electro magnetic radiation.</p> <p>(iii) Risk of rupture, breakage, collapse, failure, movement etc of components of the facility as it relates to the design and maintenance of the facility and the effect of natural hazards on the facility.</p> <p>(iv) The measures inherent in the proposal which will avoid, remedy or mitigate the potential for that effect to occur.</p>

1.3 MATTERS OF DISCRETION– continued	
2. Discretionary Activities provided for in the Development Concept Plan	For Discretionary Activities Council shall as a minimum have regard to all the matters of control for Controlled Activities within Section 1.2 and the matters of discretion for Restricted Discretionary Activities within Section 1.3.1. The matters of control for Controlled Activities and matters of discretion for Restricted Discretionary Activities are only a guide to the matters Council will consider and shall not restrict Council’s discretionary powers. In regard to earthworks, the Council shall consider methods to avoid, remedy or mitigate the adverse effects not already managed through the Waikato Regional Plan. In regard to hazardous substances, the Council shall consider methods to avoid, remedy or mitigate the adverse effects of the storage and handling of hazardous substances not already managed through the Hazardous Substances and New Organisms Act 1996.





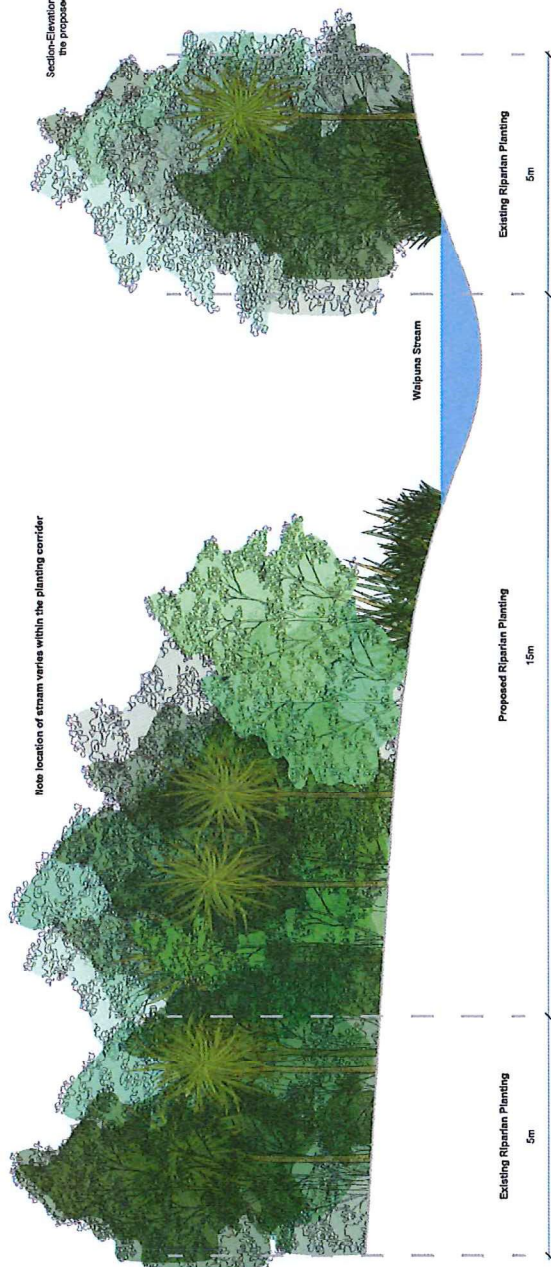




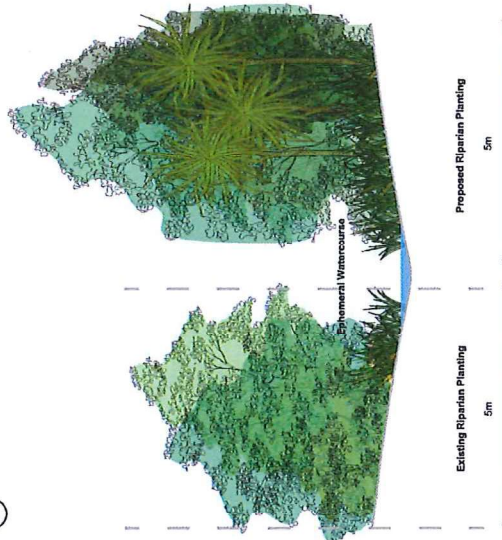


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**Note location of stream varies within the planting corridor**



**Riparian Planting Typical Section-Elevation (15m width)**



**D** Riparian Planting Typical Section-Elevation (5m width)

**Riparian Planting Implementation**

Seed Control	Weed species	Plant Size
PR203 should be removed from the site before planting. Care must be taken to ensure no weed spray enters the stream.		PR203 seed bag or its pot equivalent (1.2 litres) is recommended as being a robust yet cost-effective plant grade to use in this situation. Where selection clients the vegetation should be 500 – 800mm high for the best chance of survival.

**Plant Spacings**  
The following plants should be planted in naturalistic swatches (quincunx layout) in groups of odd numbers (3,5,7) rather than placing individuals more randomly.

Canopy trees should be planted at least 3.0 m from another canopy specimen, which is a density of approximately 10 plants per 100 m<sup>2</sup>.  
*Platanus regia* Ribbonwood

Understorey plants should be planted at a density of approximately 45 plants per 100 m<sup>2</sup>, which is equivalent to a spacing of 1.5 m. It is important to ensure seedlings do not exceed this, as rapid canopy closure is required to ensure the on-going suppression of weeds.

- Carolinia australis* Cabbage Tree  
*Coprosma robusta* Kaurau  
*C. robusta* var. *laetevirens*  
*Cratogeomys* Rat  
*Phormium tenax* Flax  
*Phormium tenax* Flax  
*Pittosporum tenuifolium* Kohuhu  
*Pseudopanax arboreum* Five-finger  
*Pseudopanax crassifolium* Lancewood  
*Carpe diem* *Stript* Swamp Sedge

low-growing and/or light-demanding species - such as Kowhai - will, ultimately, be competitively overtopped if closely surrounded by taller growing species. These species will also need to be established on margins and in open areas underplanted with grasses and sedges

*Sophora microphylla* Kowhai

**Maintenance**  
Feed management and plant relamping will be required within the planting zone, particularly over the key growing months from October to January, as the planting matures the time and costs of plant relamping will decrease as the canopy forms, reducing light and space for weeds to occupy.